

Dunedin City Council Land Information Memorandum

91180

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **17 November 2021**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Records of Title as this report may not include information that is registered on the Records of Title. The Records of Title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

PROPERTY ADDRESS

4 Holyhead Street Outram

**LIM Applicant
Print Date**

Neil Alexander Finn-House
17-Nov-2021

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PROPERTY DETAILS

Property ID 5052213
Address 4 Holyhead Street Outram
Parcels LOT 23 DP 101

Rubbish Day Thursday

RATES DETAILS

Rate Account 2052213
Address 4 Holyhead Street Outram
Valuation Number 27921-00300

Latest Valuation Details

Capital Value \$685,000
Land Value \$205,000
Value of Improvements \$480,000
Area (Hectares) 0.1012HA
Units of Use 1

Current Rates

Current Rating Year Starting 01-Jul-2021
Dunedin City Council Rates \$2,794.44

Rates Outstanding for Year \$1,216.95

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

BUILDING, PLUMBING AND DRAINAGE

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

Public Sewer sheets.

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete.

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

Building and Drainage Information

Private Storm Water Drains servicing existing buildings

There are Private Storm Water drains servicing existing buildings on this land.
Private storm water to discharge to kerb and channel.

Private Foul Drains servicing existing buildings

There are Private Foul drains servicing existing buildings on this land.
Private foul drain to Septic tank in property.

Septic Tank and Effluent Disposal

This property has onsite Septic Tank and Effluent Disposal

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
Archived	/CCC	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
Refused		-	
Lapsed		-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2003-299618](#) Building Consent Only Lodgement - Add Residential Wing to Church.
Heater - Shacklock Coal Range

Lodgement Date	27-Mar-2003
Decision	Granted
Decision Date	09-Apr-2003
Current Status	Withdrawn
Previous Number	ABA30718
<i>(Applications before 2007)</i>	

[ABA-2004-304337](#) Building Consent Only Lodgement - Convert Church into Dwelling
Lodgement Date 27-May-2004
Decision Granted
Decision Date 04-Jun-2004
Current Status **CCC Issued**
Previous Number ABA41570
(Applications before 2007)

[ABA-2017-2039](#) Building Consent Only Lodgement - Two Level Extension to Dwelling including 2 New Bedrooms and Internal Stairs, Alter Bathrooms
Lodgement Date 11-Oct-2017
Decision Granted
Decision Date 09-Nov-2017
Current Status **CCC Issued**
Previous Number
(Applications before 2007)

Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

There are no Building or Drainage Permits recorded for this property. In some instances permits may have been recorded as building consents, please also check the consent section of the LIM.

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

HAZARDS

SITE HAZARDS

This area has been identified as lying within a zone susceptible to amplified shaking in an earthquake.

Natural hazards on the Taieri Plains, Otago

This property has been identified as lying within Flood Hazard Area 1B West Taieri Plain above high tide level

This information has been sourced from the **Otago Regional Council Report – Revision 1 (2015) Natural Hazards on the Taieri Plains, Otago**. Further details, including a copy of the report are available on their website:

<https://www.orc.govt.nz/media/1722/flood-hazard-on-the-taieri-plain.pdf>

This area has been identified as lying within a zone susceptible to amplified shaking in an earthquake and potential liquefaction during a severe earthquake event. The Dunedin City Council may require a site-specific design unless site investigation confirms this requirement is not necessary.

The general vicinity of this property is identified as a 'liquefaction awareness area'. It is classified as liquefaction-susceptibility Domain C. This means that the ground is predominantly underlain by poorly consolidated marine or estuarine sediments with a shallow groundwater table. There is considered to be a moderate to high likelihood of liquefaction-susceptible materials being present in some parts of the areas classified as Domain C. Put another way, there is a low to moderate likelihood that there are no liquefaction-susceptible materials present in some parts of the areas mapped as Domain C. 'Liquefaction awareness areas' do not represent specific hazard zones, but rather highlight areas where there may potentially be a liquefaction hazard that may need further evaluation, in regard to existing or future infrastructure or development. This information has been sourced from ***GNS Science Consultancy Report 2014/068: Assessment of Liquefaction hazards in the Dunedin City district.*** Further information, including a copy of the report is available from Dunedin City Council.

This property has been identified as being affected by active faults & folds GNS April 2021 seismic - fault proximity - North Taieri, Haz Id 12094.

The Otago Regional Council has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.

These reports are publicly available and can be accessed here:

<https://www.orc.govt.nz/plans-policies-reports/reports-and-publications/natural-hazards>

These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report. We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.

Otago Regional Council - Natural Hazards Database

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<http://www.orc.govt.nz/Information-and-Services/Natural-Hazards/hazards/>

HAZARDOUS SUBSTANCES

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates If you have any questions, please contact Worksafe.

Contaminated Site, Hazardous Substances and Dangerous Goods Information

No information

ENVIRONMENTAL HEALTH

No records were found of Environmental Health involvement with this property.

LICENSING

Health Licensing

There are no records of any Health Licences for this property.

Liquor Licensing

There are no records of any Liquor Licences for this property.

CITY PLANNING

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz ; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

District Plan Information

Dunedin currently has an Operative Dunedin City District Plan, and the Proposed Second Generation Dunedin City District Plan (2GP). Accordingly, both of these plans may affect the development potential of this site and surrounding properties.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The 2GP was publicly notified on Saturday 26 September 2015. The submission period closed on Tuesday 24 November 2015. Decisions on the 2GP were released on Wednesday 7 November 2018. The appeal period closed on Wednesday 19 December 2018. The schedule of appeals can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

You are advised to refer to our website to determine which rules in the 2GP have legal effect or are fully operative, and to determine which rules in the Operative District Plan are now inoperative.

The 2GP is subject to change at any time. Variation 2 (Additional Housing Capacity) to the 2GP was notified on Wednesday 3 February 2021. No rule changes proposed in Variation 2 have legal effect from the date of notification. Once the initial submission ends on Thursday 4 March 2021, rules that do not have submissions in opposition to them will be deemed operative. Please refer to our website for more information on Variation 2 at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>.

Further rules will come into legal effect and/or become fully operative at the release of decisions and the resolution of appeals.

You should check with the Council whether any changes have occurred since the date this LIM report was issued. The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued: there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

OPERATIVE DISTRICT PLAN INFORMATION

Zoning

This property is zoned as follows in the District Plan.

Zone

RESIDENTIAL 5

Groundwater Protection Zone - Outram Township Residential Zone 5

This property is located within the Outram township Residential 5 zone. The Dunedin City District Plan does not specify a Groundwater Protection Zone over this area. However, the Otago Regional Council has its own Groundwater Protection Zones defined within the Regional Plan: Water for Otago. Please contact the Otago Regional Council for more information.

Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA Lmax between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

Noise Zone

50Dt/35Nt dBA, 45SP dBA

Designations on Adjoining Property/Road

This property adjoins a property/road that is subject to the designations below. Refer to the Planning Maps and Schedule 25.5 of the District Plan for more information. Contact Planning staff should you wish to know the exact nature of the conditions applying to the designation.

<i>Desig. No.</i>	<i>Authority</i>	<i>Name and Purpose</i>	<i>Conditions</i>
D464	NZ Transport Agency	SH 87 - Mosgiel Interchange to DCC/CODC Boundary North of Hyde - "State Highway Purposes (SH 87)"	No

Road Hierarchy

The roads listed below adjoining this property are classified as either Collector, District Regional or National Roads in the District Plan Roding Hierarchy. All other roads adjoining this property but not listed here are classified as Local Roads. Refer to Section 20 of the District Plan for more information.

Type *NZTA Control*
NATIONAL Holyhead St

SECOND GENERATION PLAN INFORMATION

Zoning

- Township and Settlement (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Hazard 2 (flood) Overlay Zone

Mapped Areas

- No DCC Reticulated Wastewater Mapped Area
- Road Classification Hierarchy (main roads within 30m of site)
 - Holyhead St is a Strategic road and a Commercial Centre road

Resource Consents

The following Resource Consents are recorded for this property.

RMA-2003-366485	Resource Management Act (Historical Data)
Description	RESIDENTIAL EXTENSION & CARPORT PROTRUDING THROUGH HEIGHT PLANE & WITHIN SIDE YARD
Lodgement Date	27-Mar-2003
Decision	Granted
Decision Date	22-Apr-2003
Current Status	Consent Lapsed

RESOURCE CONSENTS WITHIN 50 METRES OF 4 HOLYHEAD STREET OUTRAM

5052212 2 Holyhead Street Outram

[LUC-1984-351604](#) Land Use Consent construct garage in side yard. The outcome was Granted on 30/07/1984.

5052214 6 Holyhead Street Outram

[RMA-2002-366025](#) Resource Management Act (Historical Data) Establish a Garage/Workshop (Non-Notified - Non Complying). The outcome was Granted on 27/11/2002.

5052215 8 Holyhead Street Outram

[POL-2013-46](#) Planning Other Legislation certificate for the purposes of the Sale of Liquor Act 1989. The outcome was Granted on 05/09/2013.

[POL-2009-69](#) Planning Other Legislation Planning Certificate for Liquor Licence. The outcome was Granted on 04/11/2009.

[LUC-2009-239](#) Land Use Consent extend hours of operation and serve alcohol from existing cafe. The outcome was Granted on 31/07/2009.

[RMA-2005-369697](#) Resource Management Act (Historical Data) TO ESTABLISH AND OPERATE A BOUTIQUE CAFE AND HERB NURSERY AT 8 HOLYHEAD STREET OUTRAM (Notified - Non Complying). The outcome was Granted on 28/03/2006.

5052266 9 Holyhead Street Outram

[LUC-1989-355002](#) Land Use Consent Erect a garage adjacent to rear boundary Dispensation 27921/49. The outcome was Granted on 05/04/1989.

[LUC-1989-354998](#) Land Use Consent construct a garage. The outcome was Granted on 05/04/1989.

[LUC-1971-353982](#) Land Use Consent dispensation. The outcome was Granted on 26/03/1971.

5069643 24 Formby Street Outram

[RMA-2005-368906](#) Resource Management Act (Historical Data) ERECT CARPORT WITHIN SIDE YARD (Non-Notified - Restricted Discretionary). The outcome was Granted on 04/04/2005.

5101662 17 Formby Street Outram

[RMA-2005-369016](#) Resource Management Act (Historical Data) SUBDIVISION CREATING 12 RESIDENTIAL LOTS AND BALANCE LAND (Non-Notified - Restricted Discretionary). The outcome was Granted on 16/08/2005.

5112045 19 Formby Street Outram

[RMA-2005-369016](#) Resource Management Act (Historical Data) SUBDIVISION CREATING 12 RESIDENTIAL LOTS AND BALANCE LAND (Non-Notified - Restricted Discretionary). The outcome was Granted on 16/08/2005.

5112046 19A Formby Street Outram

[LUC-2018-423](#) Land Use Consent land use consent for the construction of extensions to the existing Archgola canopy located within the northern side yard which will breach the yard setback, height plane angle and site coverage. The outcome was Granted on 30/07/2018.

[LUC-2016-601](#) Land Use Consent land use consent to establish an Archgola canopy in a residential side yard. The outcome was Granted on 23/01/2017.

[RMA-2005-369016](#) Resource Management Act (Historical Data) SUBDIVISION CREATING 12 RESIDENTIAL LOTS AND BALANCE LAND (Non-Notified - Restricted Discretionary). The outcome was Granted on 16/08/2005.

5115596 9 Formby Street Outram

[LUC-2018-743](#) Land Use Consent land use consent for the construction of a 6-bay corrugated iron shed.. The outcome was Granted on 18/01/2019.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

TRANSPORTATION

No Transportation information was found for this property

As of the 24th April 2015, the Transportation Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined for Transportation information in relation to the property.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transportation on 477 4000.

For properties abutting the state highway, the New Zealand Transport Agency (NZTA) is the Road Controlling Authority.

WATER and WASTE

WATER

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

WASTE

No Services Available

No Dunedin City Council-owned stormwater or foul sewer services are available for connection at the subject property

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz

APPENDIX

Glossary of terms and abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

Terms used in Permits & Consents

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

General terms

- RDMS Records and Document Management System



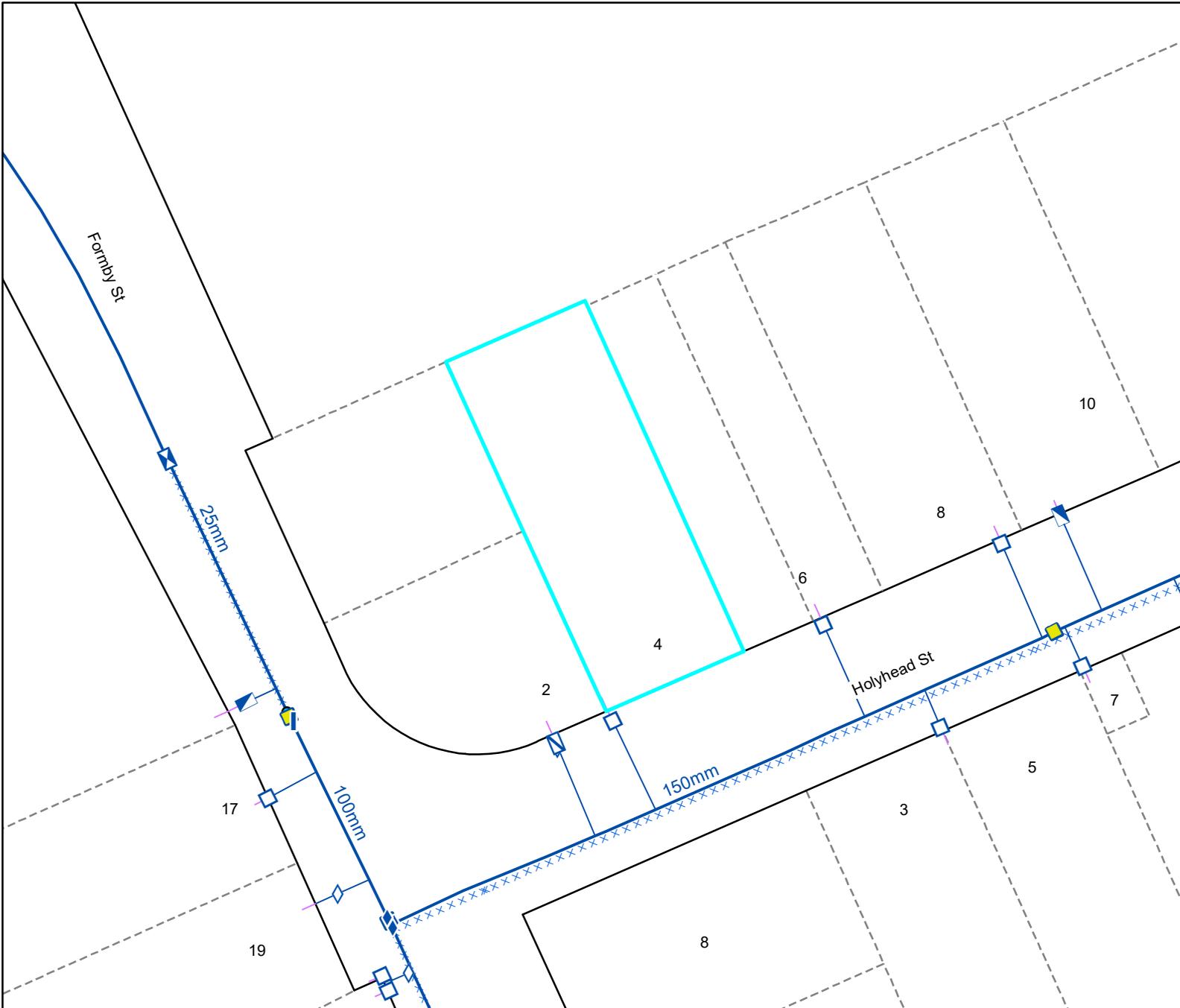
Photographic Map

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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.



Legend

Water Supply	
	Manifold Box
	Water Meter
	Toby
	Meter without manifold box
	Retic Flow Meter
	Combination Meter
	Manifold Box With Restrictor
	Water Valve - Zone
	Non Return Valve
	Water Valve - Gate
	Water Valve - Sluice
	Water Hydrant
	Water Backflow Preventor - RPZ
	Water Non-Return Valve
	Water Pump Station
	Water Bore
	Water Treatment Plant
	Water Storage Tank
	Supply Main
	Trunk Main
	Disused
	Reticulation
	Scour
	Water Service Lateral
	Water Fire Service Lateral
	Water Critical Service Lateral
	Water Zone Boundary
	Water Reservoir
	Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage	
	Standard Manhole
	Valve Chamber (pressurised)
	Boundary Kit
	Non-Return Valve
	Pump Station Domestic
	Drop Manhole
	Inspection Manhole
	Inspection Opening
	Lamphole
	Outlet
	Pump Station
	Treatment Plant
	Vent
	Foul Sewer Node
	Foul Drains in Common (public)
	Sewer
	Trunk Sewer
	Vent Line
	Rising Main
	Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater	
	SW Bubble-up Tank
	SW Drop Manhole
	SW Insp Chamber and Grating Inlet
	SW Inspection Manhole
	SW Inspection Opening
	SW Lamphole
	SW Mudtank Inlet
	SW Outlet
	SW Pipe Inlet
	SW Pressure Manhole
	SW Standard Manhole
	SW Stormwater Node
	Roading Bubble-Up Tank
	Roading Mudtank
	Stormwater Main
	Stormwater Trunk Main
	DCC Open Channel
	Piped WC
	Open WC
	Culvert
	Stormwater Mudtank Pipe
	Redundant Stormwater Main
	SW Sump
	SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General		Cadastral	
	DCC Water & Waste Structure		Parcel
	Railway Centreline		Road/Rail
	Hydro		Motorway Parcels
	Strata		Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

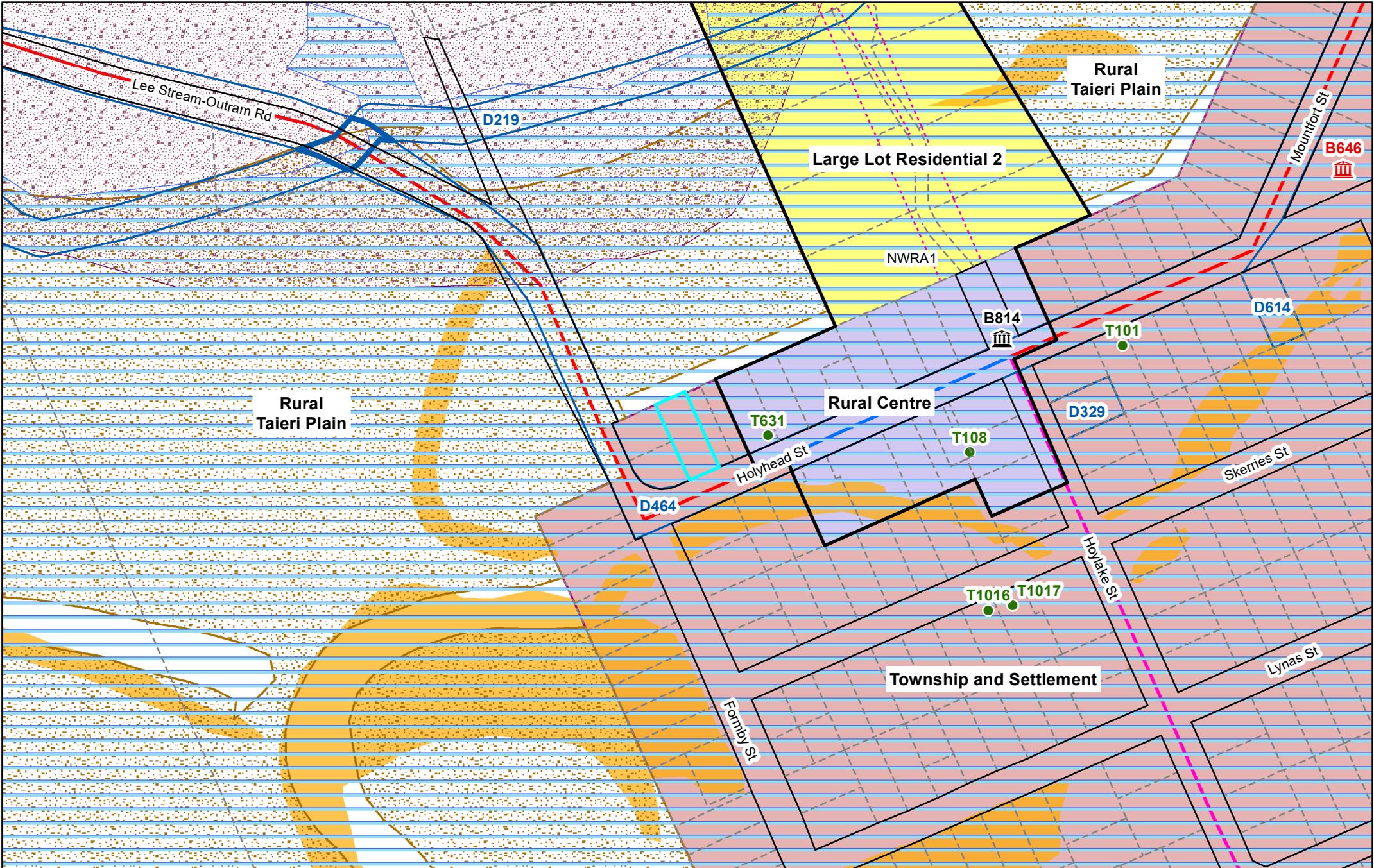
Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

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8:01:36 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ.
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.



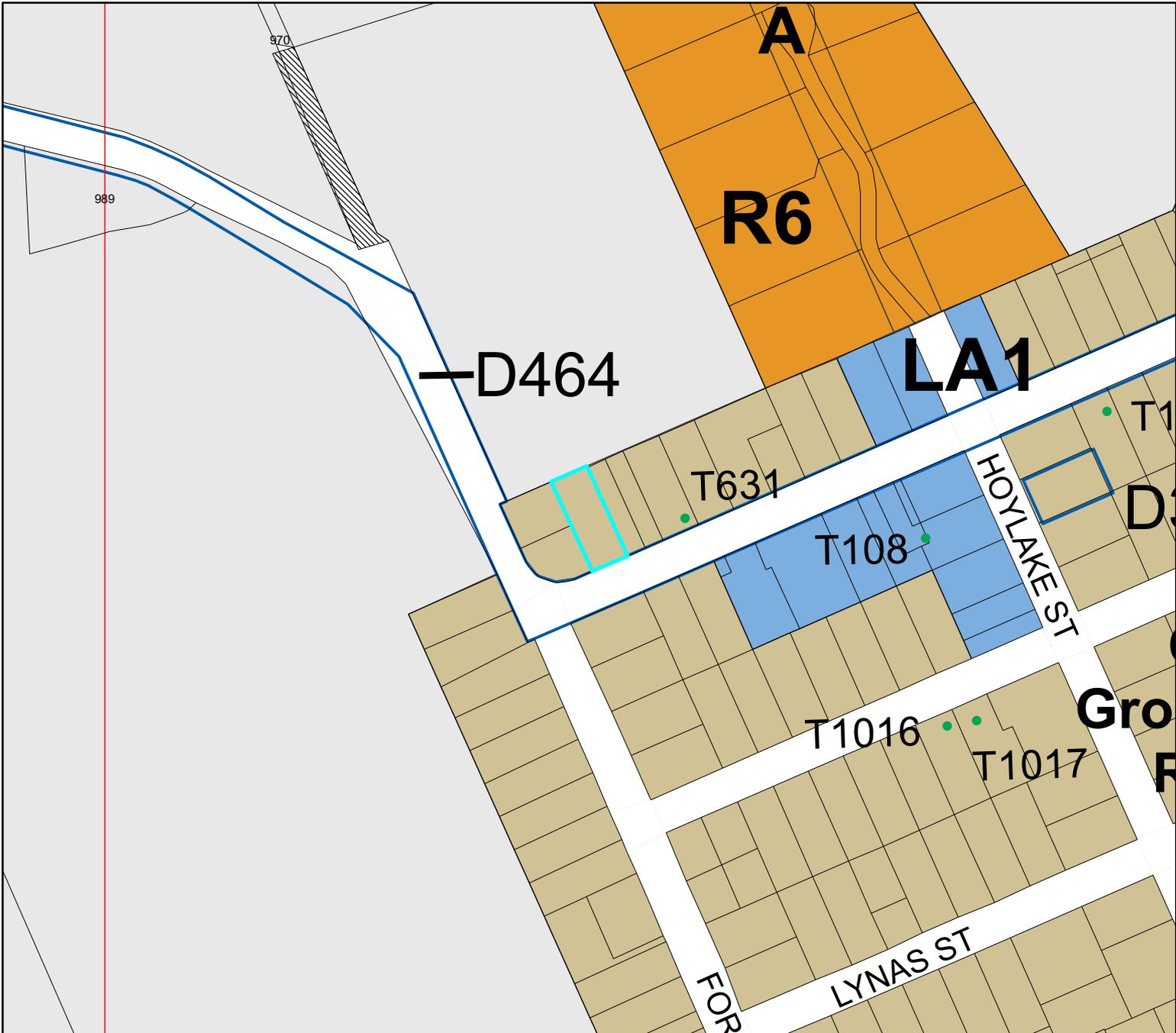
Second Generation District Plan

Scale at A4:
 1:3,000
 15/11/2021
 8:01:57 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
 This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

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 2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ
 2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.



Legend

- Significant Trees
 - ◆ Transpower Structure
 - Transpower Lines
 - ▤ Heritage Structure
 - Heritage Facade
 - ⊗ DP Archaeological Sites
 - - - Airport Fan Designation 274 bdy
 - ▤ Port Height Restrictions
 - ▭ DP Designations
 - Urban Landscape Conservation Area
 - ▤ DP Taiari Aerodrome
 - ▤ Restricted Water Supply Area
 - - - Ground Water Protection Zone A
 - - - Ground Water Protection Zone B
 - ▭ Public Roads not Legal
 - ▨ Unformed Legal Road
- #### Zones
- ▭ R1 - Residential 1 Zone
 - ▭ R2 - Residential 2 Zone
 - ▭ R3 - Residential 3 Zone
 - ▭ R4 - Residential 4 Zone
 - ▭ R5 - Residential 5 Zone
 - ▭ R6 - Residential 6 Zone
 - ▭ R6A
 - ▭ Campus Zone
 - ▭ Airport Zone
 - ▭ Stadium Zone
 - ▭ CA - Central Activity Zone
 - ▭ LSR - Large Scale Retail Zone
 - ▭ LA1 - Local Activity Zone 1
 - ▭ LA2 - Local Activity Zone 2
 - ▭ In1 - Industrial 1 Zone
 - ▭ In2 or SD - Industrial 2 or Special Development Zone
 - ▭ Port 1 Zone
 - ▭ Port 2 Zone
 - ▭ RR - Rural Residential Zone
 - ▭ Rural Zone
 - ▭ H - Harbourside
- #### Port & Airport Noise
- XXXX Air Noise Boundary
 - XXXX Airport Outer Control Boundary
 - XXXX Outer Port Control Boundary
 - XXXX Port Noise Boundary
- #### Esplanade Requirement
- **** Esplanade Reserve Required
 - - - Esplanade Strip Required
- #### Landscape Management Boundary
- outside boundary
 - boundary between areas
 - prominence boundary
- #### Townscape
- Townscape and Heritage Precinct Boundary - Internal
 - Townscape and Heritage Precinct Boundary
- #### Pedestrian Frontage
- Identified Pedestrian Crossing
 - Verandah Required
- #### Areas of Significant Conservation Value boundary
- ASCV Boundary
 - ASCV Boundary - Internal
 - Areas of Significant Conservation Value (Estuarine edge)
 - Areas of Significant Conservation Value (Wetland)

Most detail not shown at scales smaller than 1:25,000
 Optimal scale range is 1:2000 - 1:5000

This Planning Map is indicative.

The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.



Operative District Plan Map

Scale at A4:
 1:3,000
 15/11/2021
 8:02:03 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
 This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

CODE COMPLIANCE CERTIFICATE

DCC/CA-14-07-v2.0

Section 95, Building Act 2004

CCC NO:	ABA- 41570	Telephone No:	03 477 4000
APPLICANT		PROJECT	
B C Lawton 4 Holyhead Street Outram 9019		Work Type: Additions & Alterations	
PROJECT LOCATION		Intended Use/Description of Work: Building Consent Only - Convert Church into Dwelling	
4 Holyhead Street Outram		Intended Life: Indefinite, not less than 50 years.	
LEGAL DESCRIPTION		This CCC also applies to the following Amended Consents:	
Legal Description: LOT 23 DP 101 Valuation Roll No: 27921-00300 Building Name: N/A		N/A	

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

This Certificate is issued subject to the conditions specified:

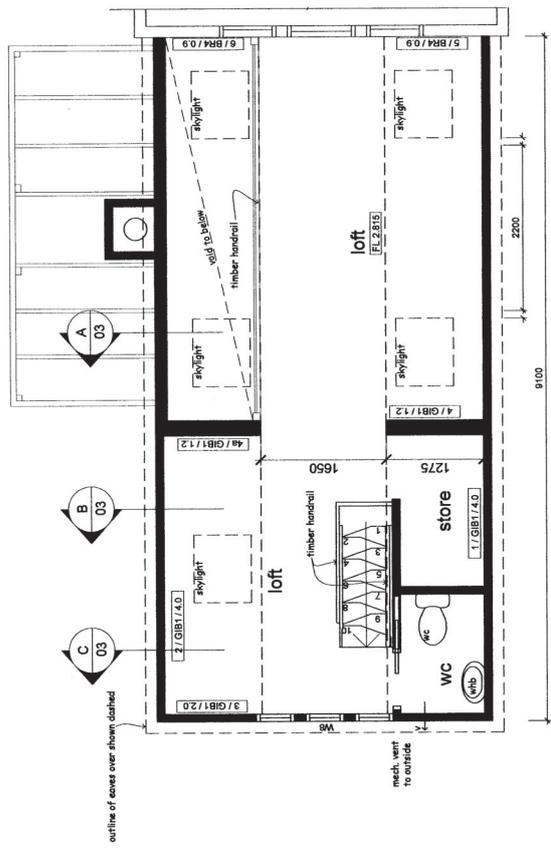
The Building Consent is subject to a modification to the Building Code to the effect that, Clause B2.3.1 applies from 4 June 2006 instead of from time of issue of the Code Compliance Certificate.

Signed for and on behalf of the Council:

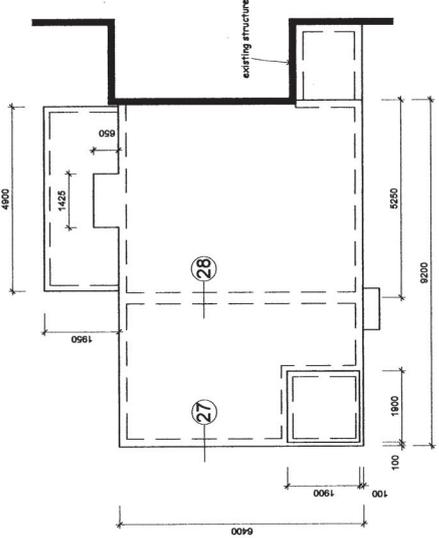


TEAM LEADER INSPECTIONS

Date: 1 February 2010



foundation plan
scale 1:100



first floor framing plan
scale 1:100

notes:
confirm all dimensions on site, do not scale from construction with the accompanying specification
plan dimensions are to timber framing no allowance has been made for cavity or casing thicknesses



legend
 exiting timber framed wall
 exiting window to be removed
 150x50 timber framed wall
 150x50 timber framed wall
 exiting door
 new door
 1:1 G/B1/3.5
 bracing note: ref no./type/length
 dw dishwasher
 f fridge
 gb gas bottle storage complete with full gas service, including pipework, gas tap, cover and security chain
 ghw Infinity 24 gas hot water unit
 htr heated towel rail
 mab main switch board
 sh shelf
 shower
 v mechanical vent to exterior
 wb wash hand basin
 wm washing machine

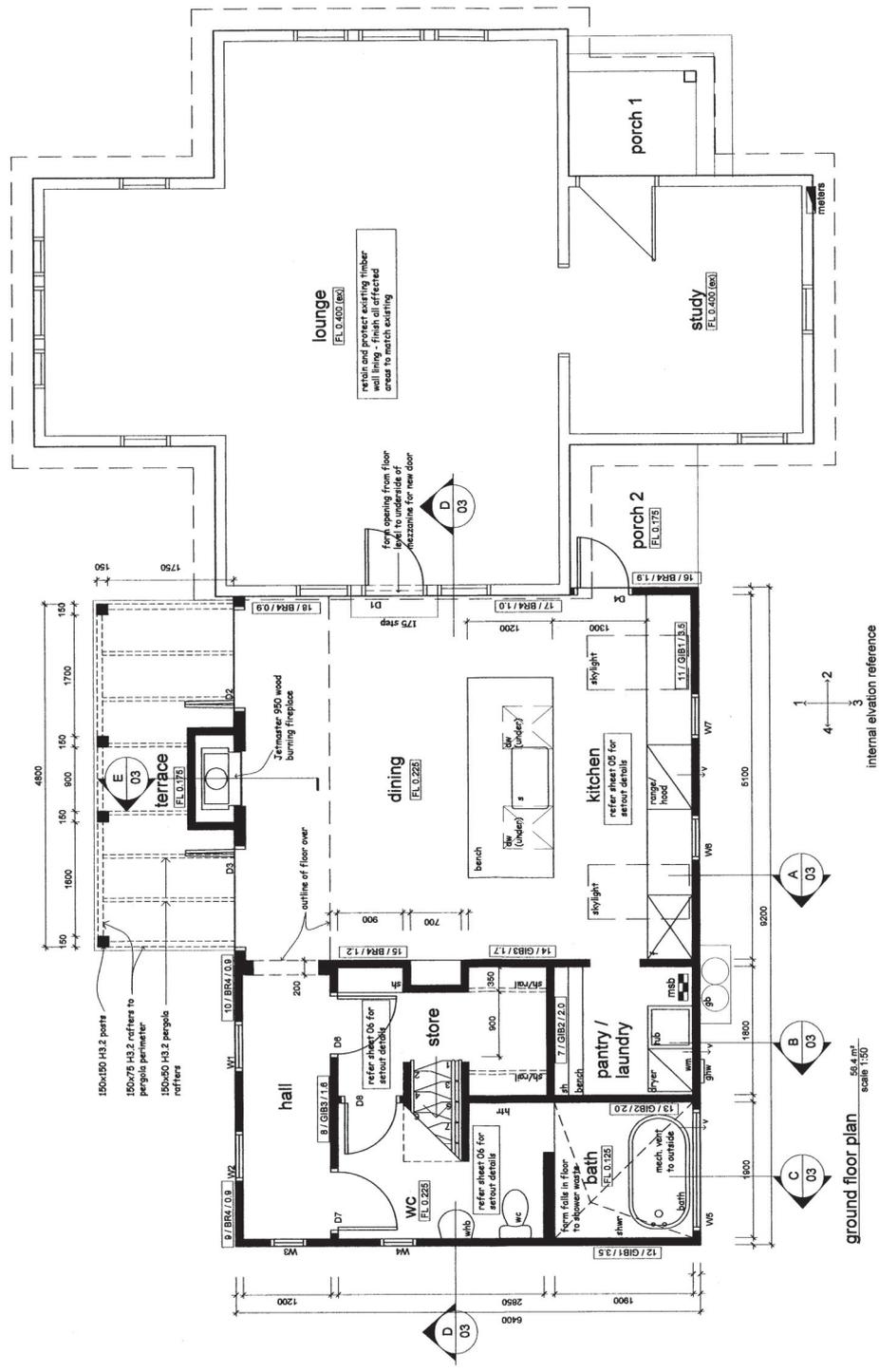
As Built Plan
 Received by: B. Lawson Sketch
 Date: 6-1-10
 ABA No: 2009-3018-337

description
B Lawson & V Leigh
 4 Holyhead Street
 Outram
 JANUARY 2010
AS BUILT



St Thomas Group
 PO Box 19
 Outram, Dunedin, NZ
 Phone: 03 488 2222
 www.stthomasgroup.co.nz

first floor plan
21.9 m²
scale 1:50

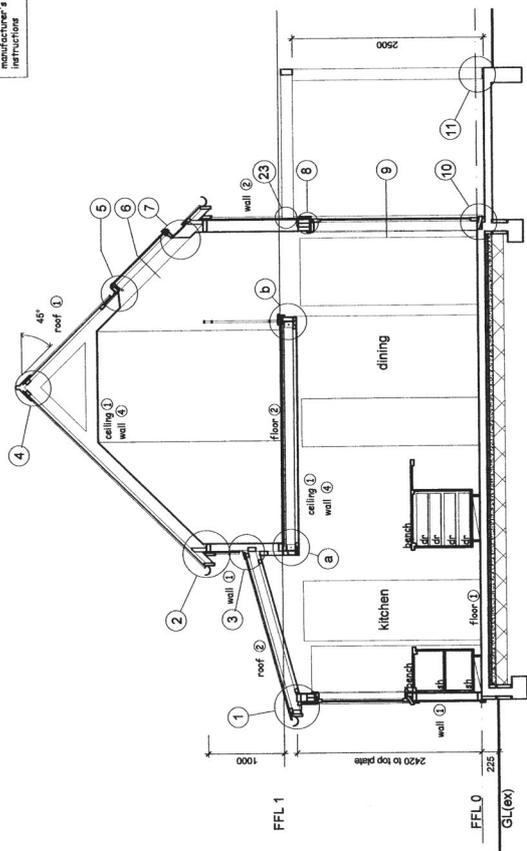


ground floor plan
56.4 m²
scale 1:50

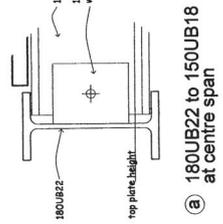
internal elevation reference
 1
 4
 2
 3

A2

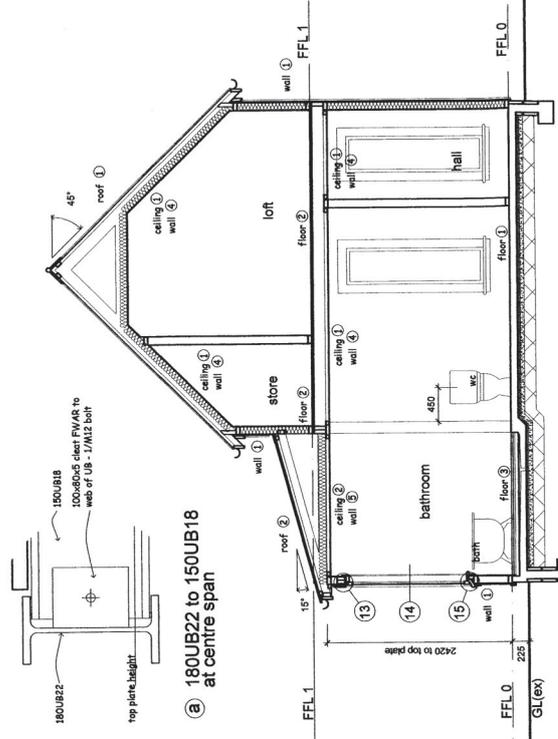
note: installation of 2timaster 8500 fireplace strictly in accordance with manufacturer's specification and instructions



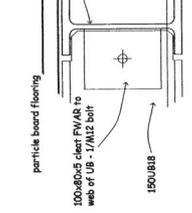
section a scale 1:50



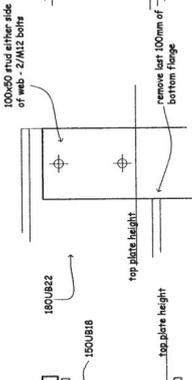
(a) 180UB22 to 150UB18 at centre span



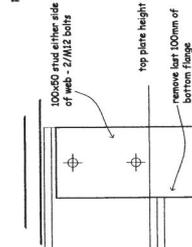
section c scale 1:50



(b) 150UB18 to 150UB18 at centre span



(c) 180UB22 to wall

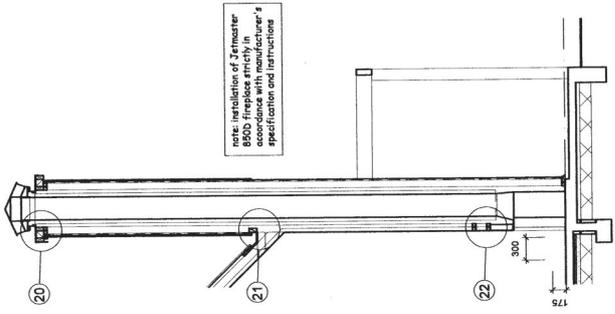


(d) 150UB18 to wall

(e) joists to 150UB18 at centre span

(f) 150UB18 to existing church wall

(g) 180UB22 to existing church wall



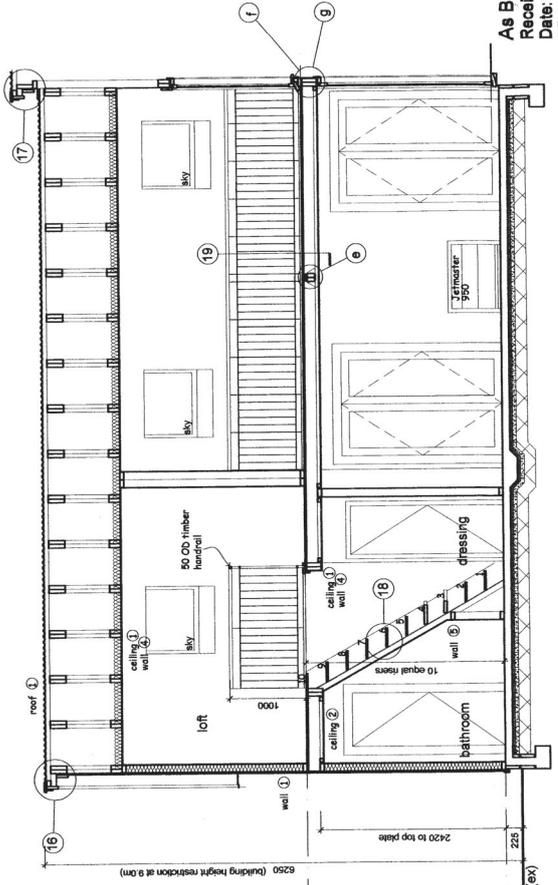
section e scale 1:50

NOTES:

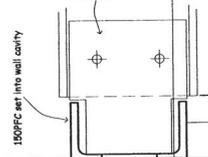
- roof ① selected Colorsteel roofing on breacher type building paper on 75x50 purlins at 900 c/s max on trusses at 600 c/s
- roof ② selected Colorsteel roofing on breacher type building paper on 75x50 purlins at 900 c/s max on 100x50 rafters at 600 c/s
- roof ③ selected Colorsteel roofing on breacher type building paper on 75x50 purlins at 900 c/s max on existing roof framing (remove existing roof tiles and battens)
- ceiling ① generally 10mm eib Ultralite on ex 50x40 battens at 400 c/s max
- ceiling ② 9mm Villaboard on ex 50x40 battens at 400 c/s max (garage, bath)
- wall ① 75x25mm timber battens at 400 c/s on 12mm plywood over 100x50 timber framing
- wall ② 75x25mm timber battens at 400 c/s on 12mm plywood over 150x50 timber framing
- wall ③ 75x25mm timber battens at 400 c/s on 12mm plywood over existing timber framing (remove existing roughcast siding and insulation)
- wall ④ generally - standard 10mm eib board on 100x50 timber framing
- wall ⑤ 9mm Villaboard on 100x50 timber framing (bathroom)
- floor ① ground floor - 100 thick concrete floor slab reinforced with HRC 600 mesh - 30 top cover over 100x50 joists at 900 c/s max on 100x50 joists spaced at 450 or 600 max c/s as specified on floor framing plan
- floor ② proprietary 500x50x25mm Bataul hardwood timber decking filled on nylon blocks over polystyrene sealed concrete floor slab tied to fall to floor waste

As Built Plan
 Received by: *1888 on Sketch*
 Date: 6-1-10
 ABA No: 2-1014-304-337

section d scale 1:50

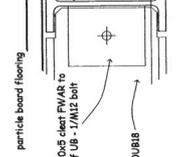
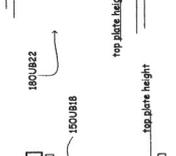
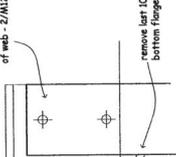
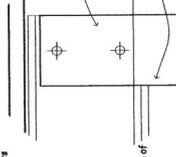
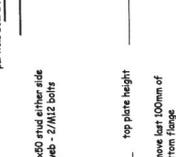
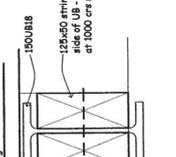
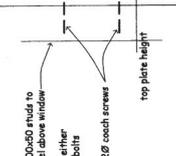
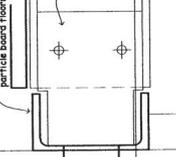
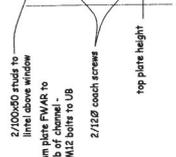


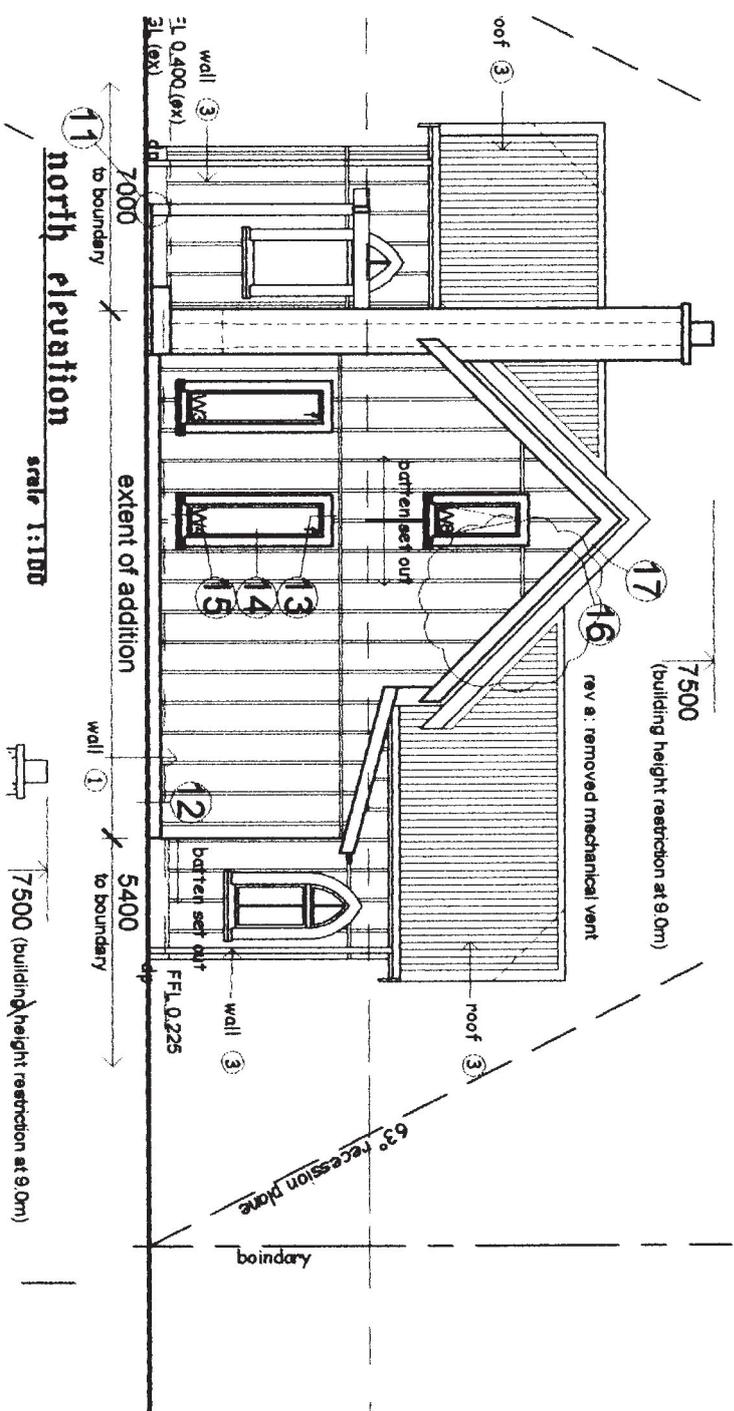
section b scale 1:50



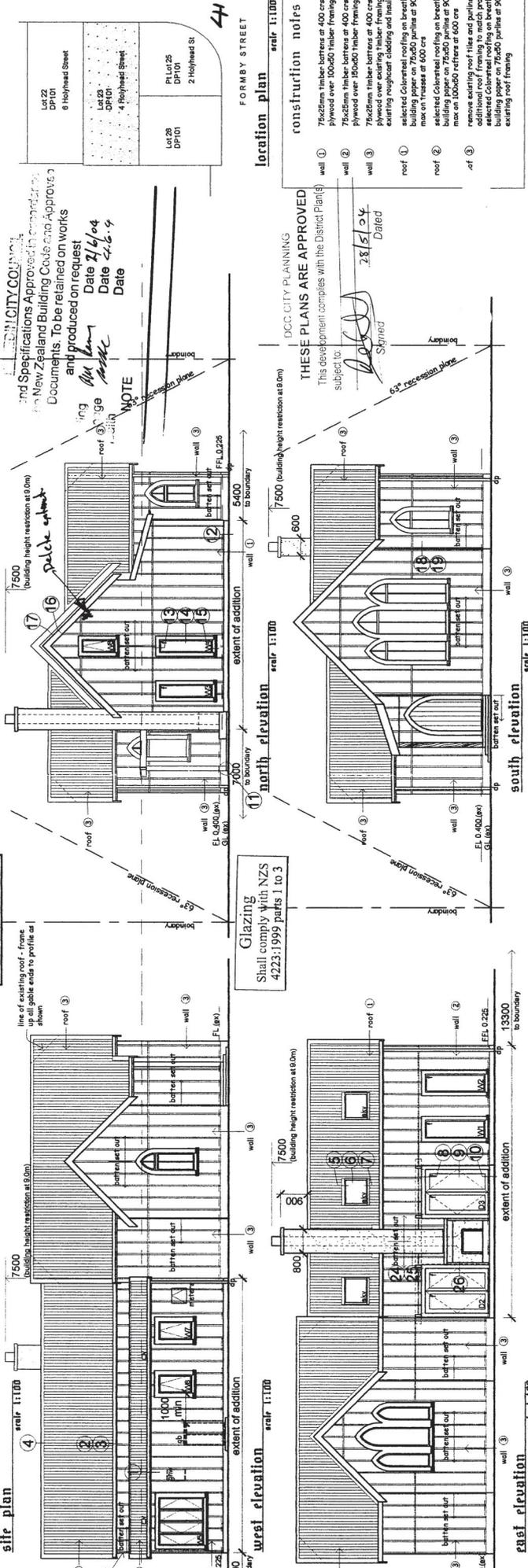
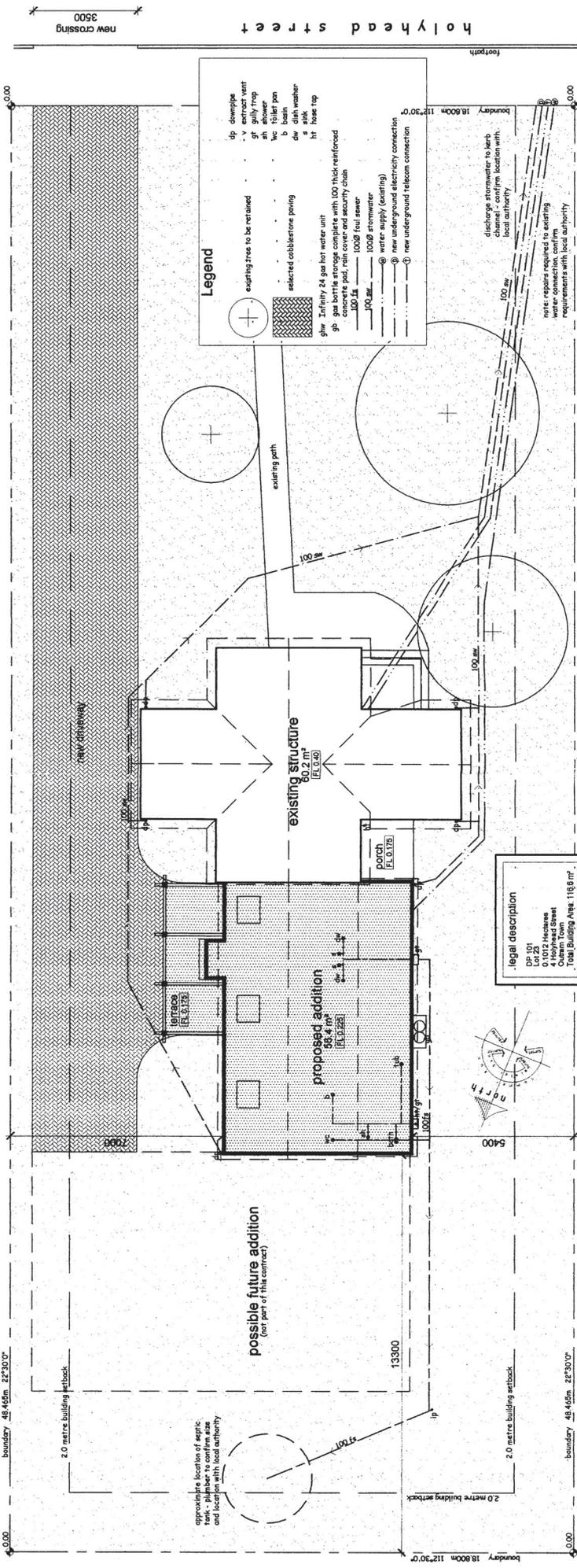
A2

6mm plate FVAR to web of channel - 2/M12 bolts to UB





44570

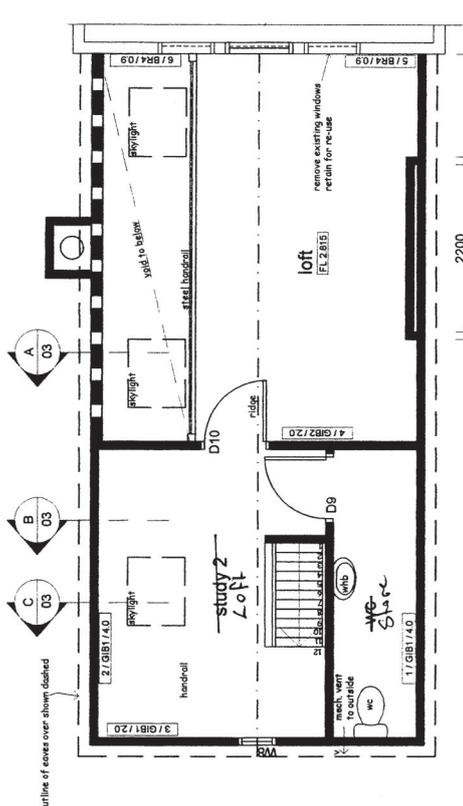


St Thomas'
 42 Melville Street, Dunedin
 Ph 03 477 8195 / 03 477 223
 stthomas@stthomas.org.nz

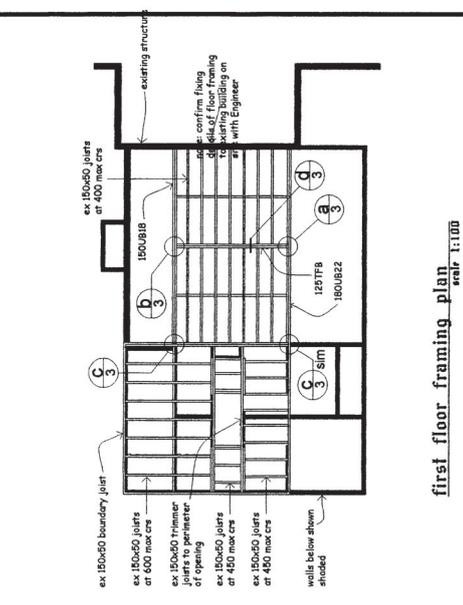
St Thomas' Illustrations for B Ingham & V Leigh at St Thomas' 4 Holyhead Street, Outram, Dunedin

Site/Location/Drainage
 22 May 2004

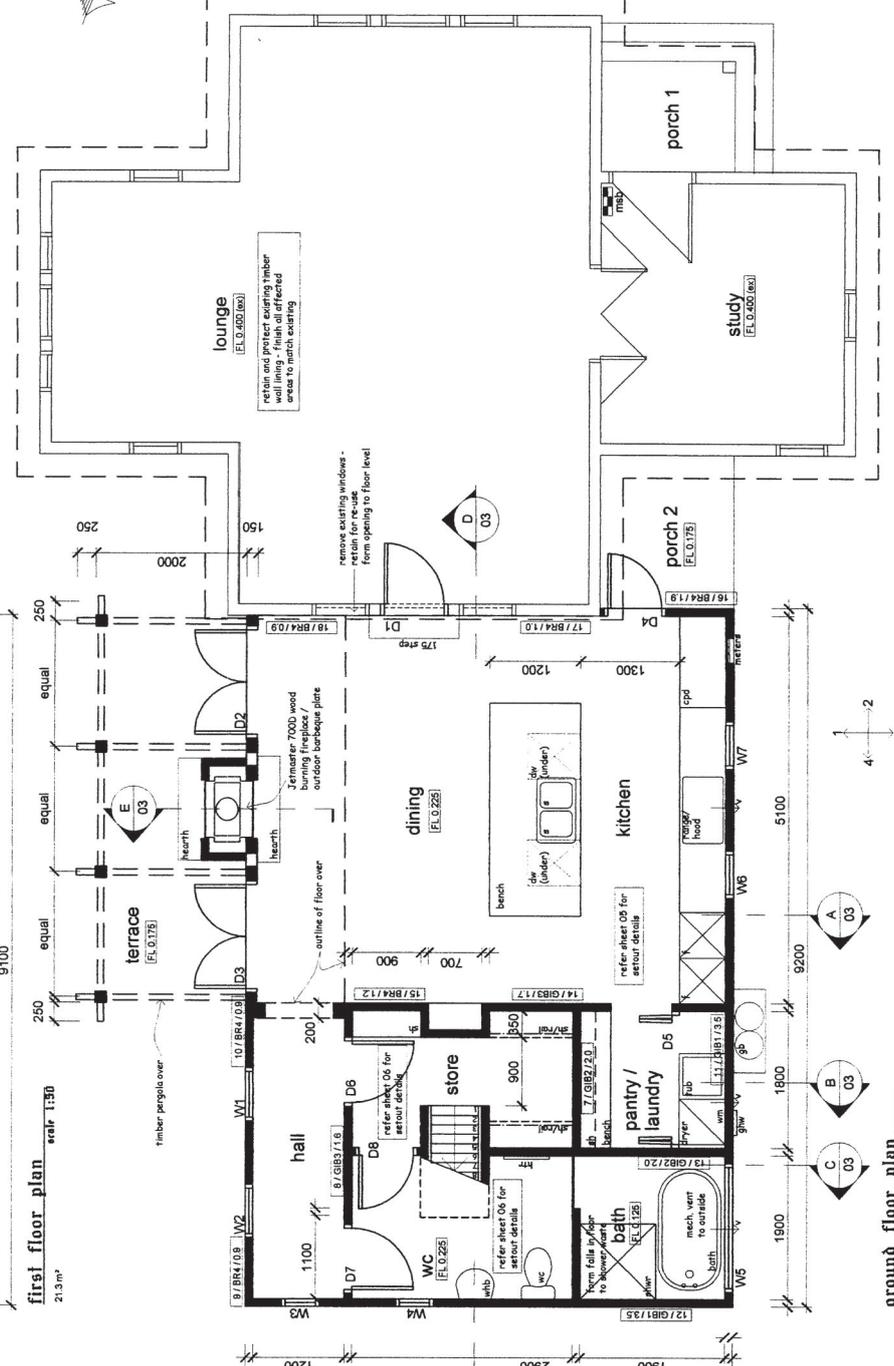
sheet # 01 of 7



roof plan scale 1:100

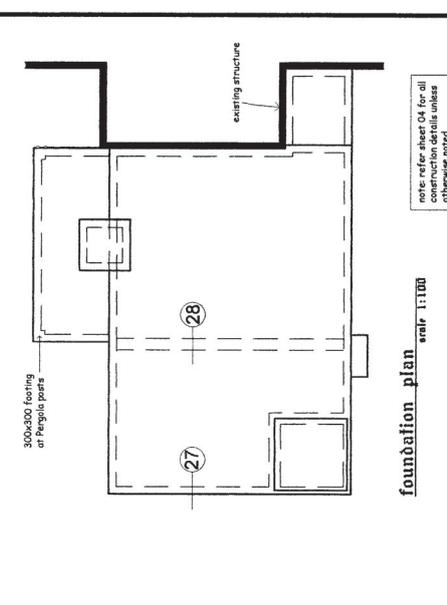


first floor framing plan scale 1:100



first floor plan scale 1:50

ground floor plan scale 1:50



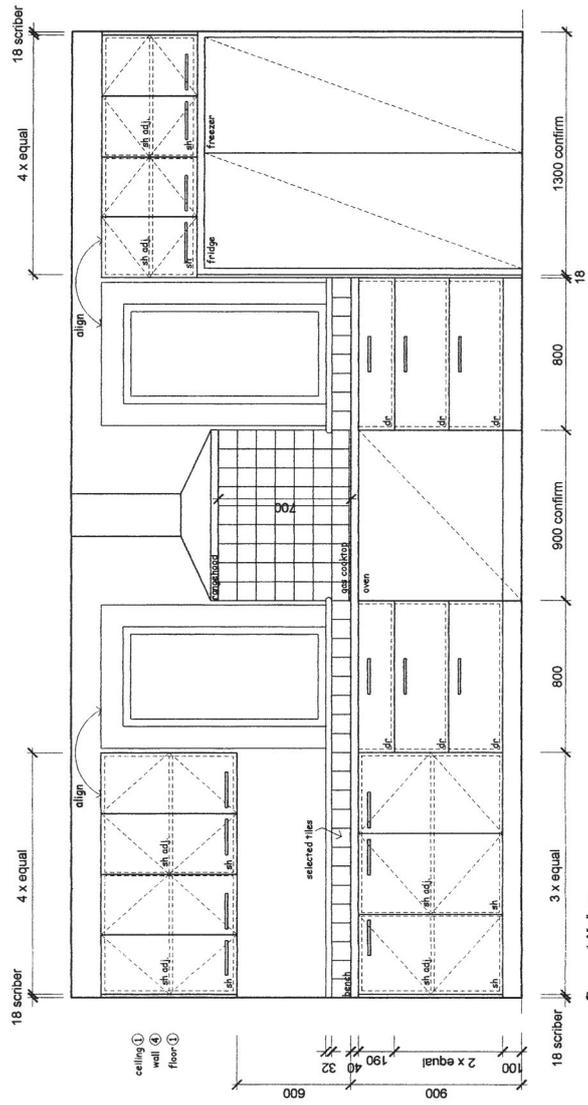
foundation plan scale 1:100

Legend

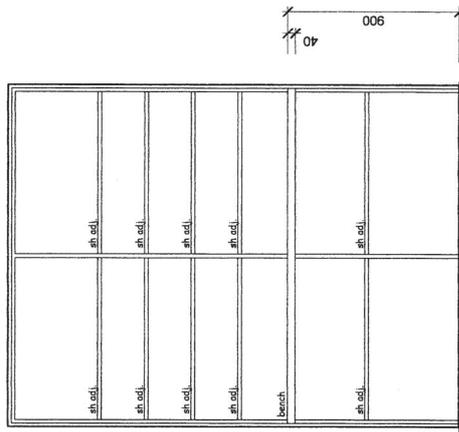
- existing timber framed wall
- existing window to be removed
- 100x50 timber framed wall
- existing door
- new door
- 117/GIB1/3/3 backing etc. ref no / type / length
- dw dishwasher
- f fridge
- gb gas bottle storage complete with 100 thick reinforced concrete pad, rain cover and security
- ghw hot water unit
- htr heater
- htrr heated towel rail
- mb main mesh board
- mbh mesh shelf
- shw shower
- v mechanical vent to exterior
- whb wash hand basin
- wm washing machine

41570

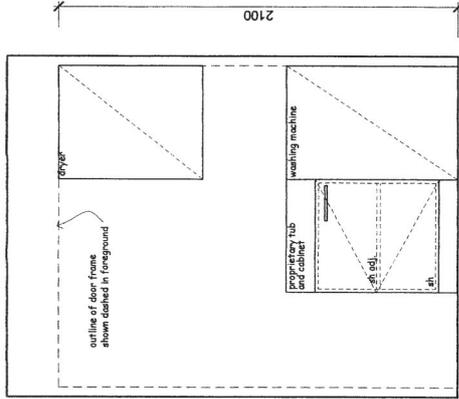
Window and Door Schedule	
Ref	Notes
W1	2.100 x 0.800 0.100 fixed (owner supplied)
W2	2.100 x 0.800 0.100 fixed (owner supplied)
W3	2.100 x 0.400 0.350 fixed (owner supplied)
W4	2.100 x 0.800 0.100 fixed (owner supplied)
W5	2.100 x 1.000 0.600 fixed (owner supplied)
W6	2.100 x 0.600 1.050 150 hung
W7	2.100 x 0.800 1.050 150 hung
W8	2.100 x 0.400 0.350 150 hung
D1	2.350 x 0.900 solid wood panel, glaze complete (owner supplied)
D2	2.100 x 1.900 timber, glaze hung, glazed
D3	2.100 x 1.900 timber, glaze hung, glazed
D4	2.100 x 0.810 timber, glaze with multipaneled pan door
D5	2.000 x 1.700 hollow core, glaze hung, was glazed
D6	2.000 x 0.710 hollow core, was glazed
D7	2.000 x 0.810 hollow core, was glazed
D8	2.000 x 0.710 hollow core, was glazed
D9	2.000 x 0.810 hollow core, was glazed
D10	2.300 x 0.810 hollow core, was glazed



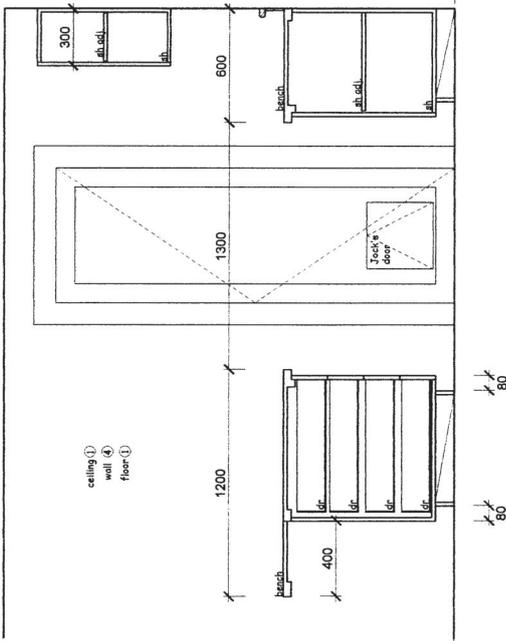
3 kitchen



1 pantry

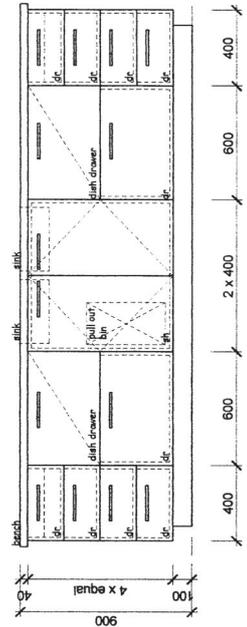


3 laundry



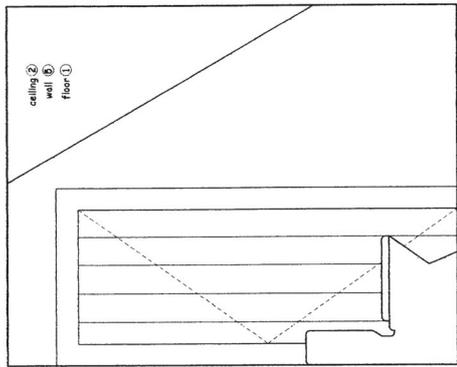
2 kitchen

- ceiling (1) generally 10mm GIB Ultralite on ex 30x40 battens at 400 c/s max
- ceiling (2) 10mm GIB Aquiline on ex 30x40 battens at 400 c/s max (ceiling, bath)
- wall (4) generally - standard 10mm GIB Board on 100x50 timber framing
- wall (5) 10mm GIB Aquiline on 100x50 timber framing (bath)
- floor (1) ground floor - 100 thick concrete floor slab reinforced with 18C 656 mesh - 30 top cover and 30 bottom cover on compacted hardfill as required



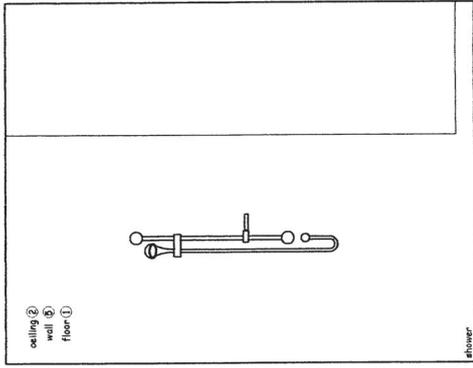
1 kitchen

41570

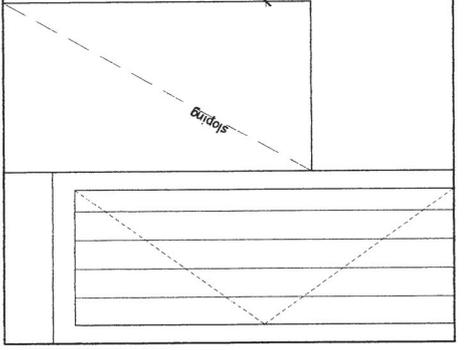


1 wr

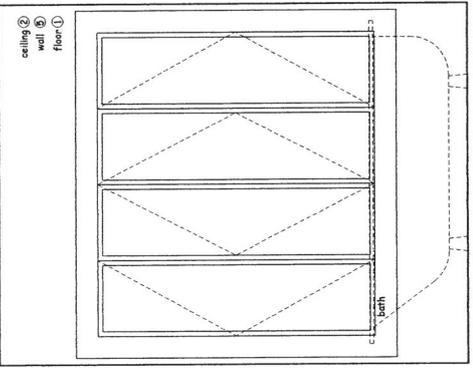
internal elevations
seal 1:30



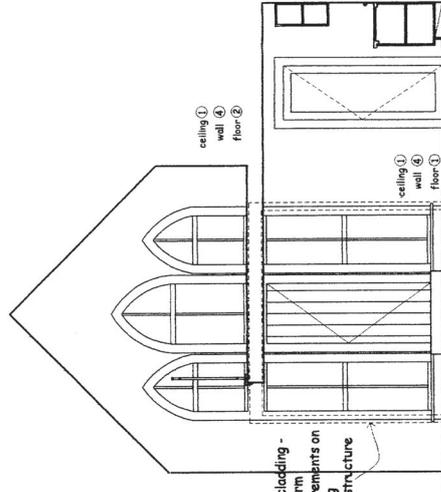
1 bath



2 wr/bath

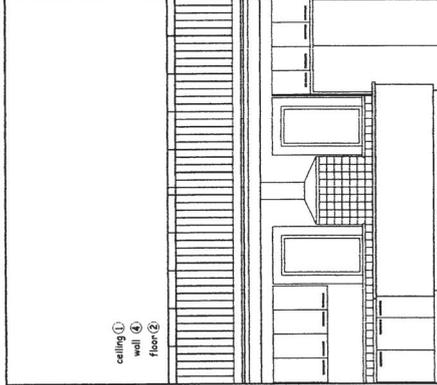


3 bath



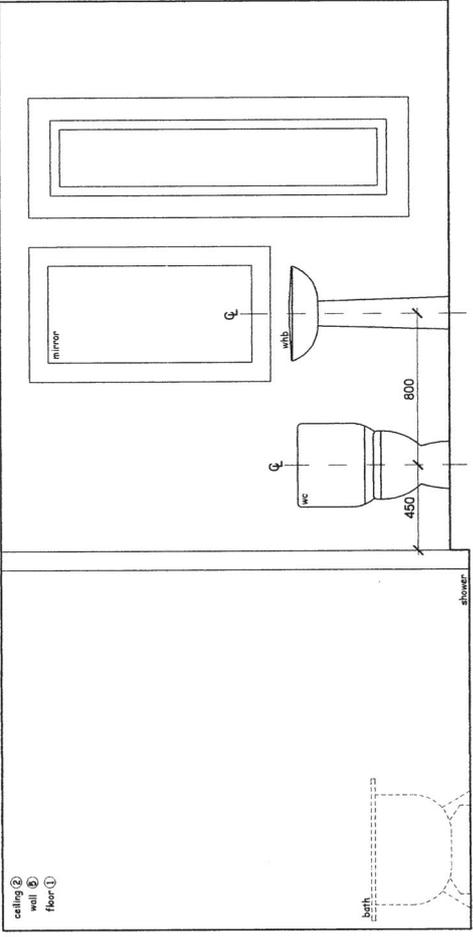
2 dining / kitchen / loft

remove existing cladding -
Engineer to confirm
post/lintel requirements on
site before fixing
mezzanine floor structure

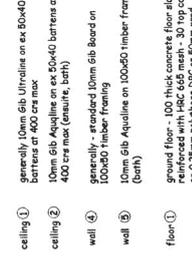


3 dining / hall

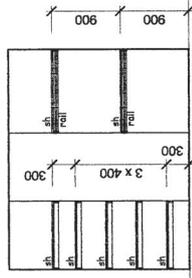
internal elevations
seal 1:30



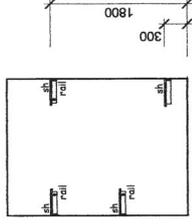
4 wr/bath



2 dressing



3 dressing



3 dressing

4/5/70



DUNEDIN CITY
COUNCIL

Kaunihera-a-rohe o Otepoti

50 The Octagon, PO Box 5045, Moray Place
Dunedin 9058, New Zealand
Telephone: 03 477 4000, Fax: 03 474 3488
Email: dcc@dcc.govt.nz
www.dunedin.govt.nz

Code Compliance Certificate Form 7

Section 95, Building Act 2004

N A Finn-House and A E Finn-House and OND Trustees Limited
4 Holyhead Street
Outram 9019

The building

Street address of building: 4 Holyhead Street Outram

Legal description of land where building is located: LOT 23 DP 101

Building Name: N/A

Location of building within site/block number:

Level/unit Number:

Current, lawfully established, use: Housing

Number of occupants: 2

Year first constructed: 1893

The owner

Name of owner: N A Finn-House and A E Finn-House and OND Trustees Limited

Contact person: N A Finn-House and A E Finn-House and OND Trustees Limited

Mailing address: 4 Holyhead Street, Outram 9019

Street address/registered office:

Mobile: 027 707 8287

Landline: 03 477 4922

Email address: Neil.Finn-House@megadunedin.co.nz

First point of contact for communications with the building consent authority: As above

Building work

Building Consent Number: ABA-2017-2039 Two Level Extension to Dwelling including 2 New Bedrooms and Internal Stairs, Alter Bathrooms

This CCC also applies to the following amended consents: N/A

Issued by: Dunedin City Council

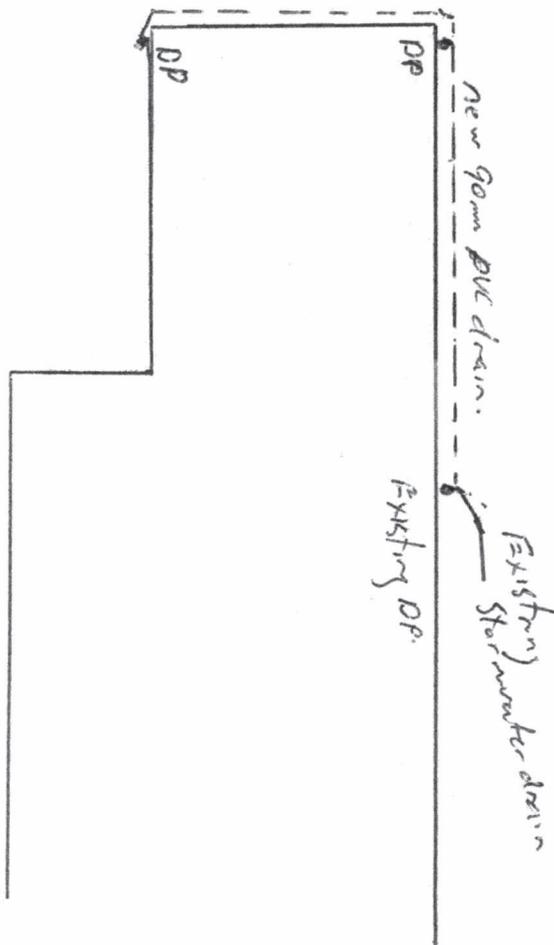
Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that-

- (a) The building work complies with the building consent

Team Leader Inspections
On behalf of Dunedin City Council

Date: 3 April 2019



Finn-House

4 Holyhead Street

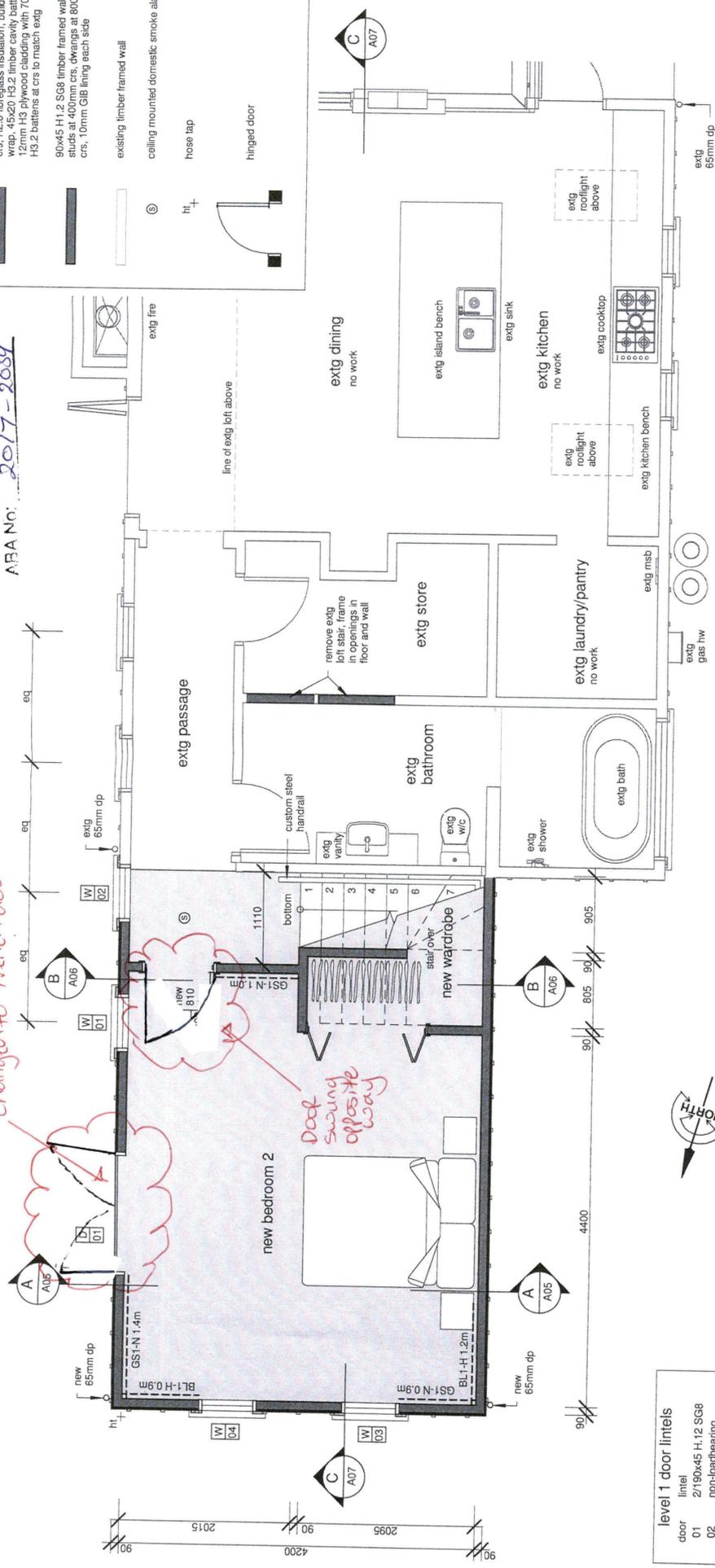
Outram.

As Built Plan
 Received by: VS
 Date: 14/19
 A/B No: 2017-2039

Legend	
	90x45 H1.2 SG8 timber framed wall, 10mm crs, dwangs at 600mm crs, R2.8 thermal insulation, 12mm H3 plywood cladding with 70x20 H3.2 battens at crs to match extg
	90x45 H1.2 SG8 timber framed wall, studs at 400mm crs, dwangs at 600mm crs, 10mm GIB lining each side
	existing timber framed wall
	ceiling mounted domestic smoke alarm
	hose tap
	hinged door

changed to French door

Door swinging opposite way



Revision Schedule	
Rev	Date
INTERIOR DOOR TO BEDROOM EXTERIOR DOOR TO BEDROOM	

NOTES:
 1. Check & confirm all dimensions on site
 2. Do not scale off these drawings
 3. This plan is to be read in conjunction with the accompanying specification and consultants' drawings

date:	26/10/2017
drawn:	AK
job #:	1725
sheet	A03

proposed level 1 floor plan
 1 : 50 @ A3

level 1 door lintels	
door	01
lintel	02
2/190x45 H-12 SG8	
non-loadbearing	

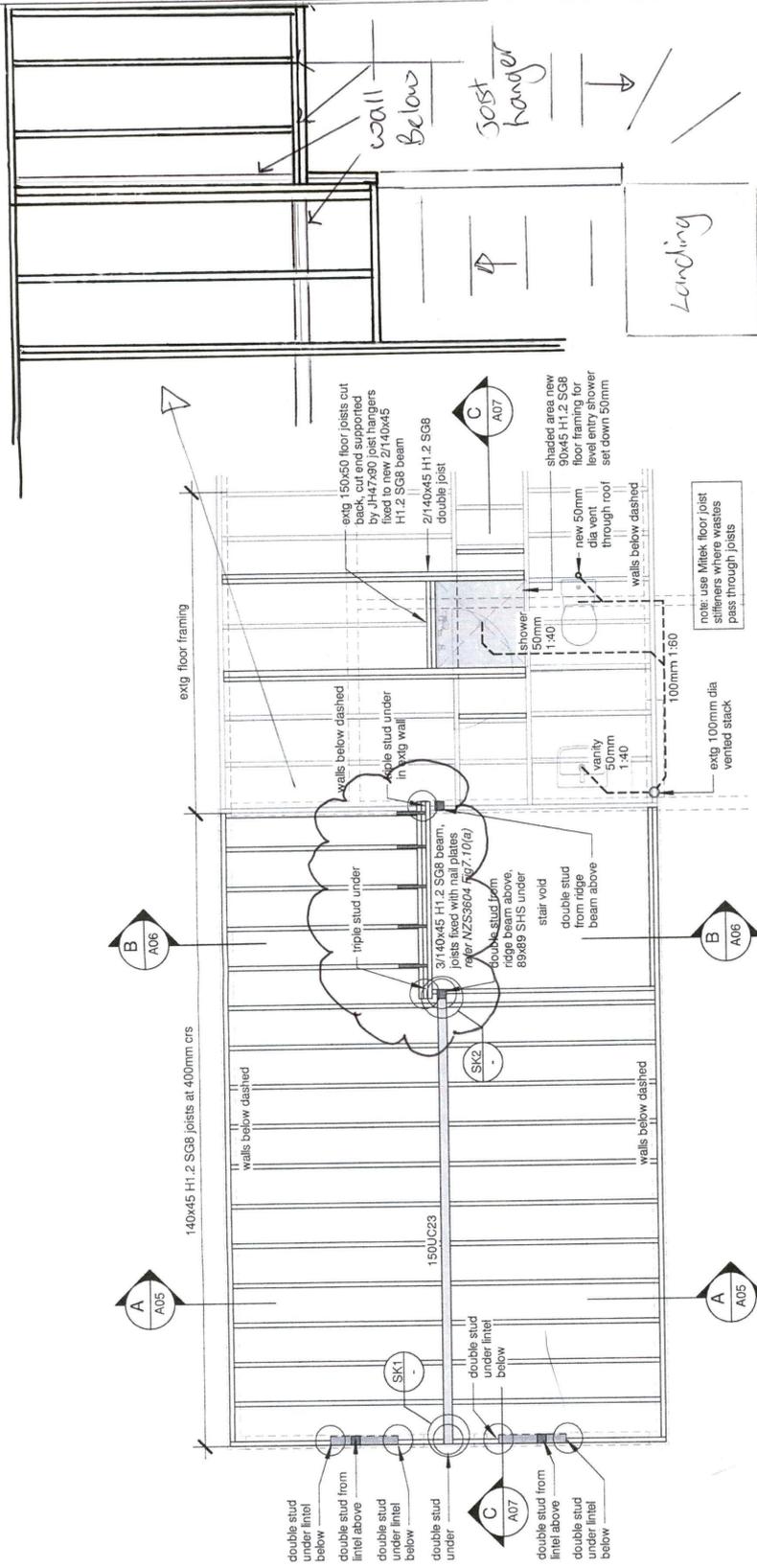
level 1 window lintels	
window	01
lintel	02
2/140x45 H-12 SG8	
2/140x45 H-12 SG8	
2/90x45 H-12 SG8	
2/90x45 H-12 SG8	

proposed alterations for
Amanda & Neil Finn-House
 4 Holyhead Street, Outram

sheet title
level 1 proposed plan



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level 2 floor framing

1 : 50 @ A3

Revision Schedule	
Rev	Date

FLOOR FRAMING
TO STAIR

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Received by: 15
 Date: 14 19.
 ABA No: 2017-2039

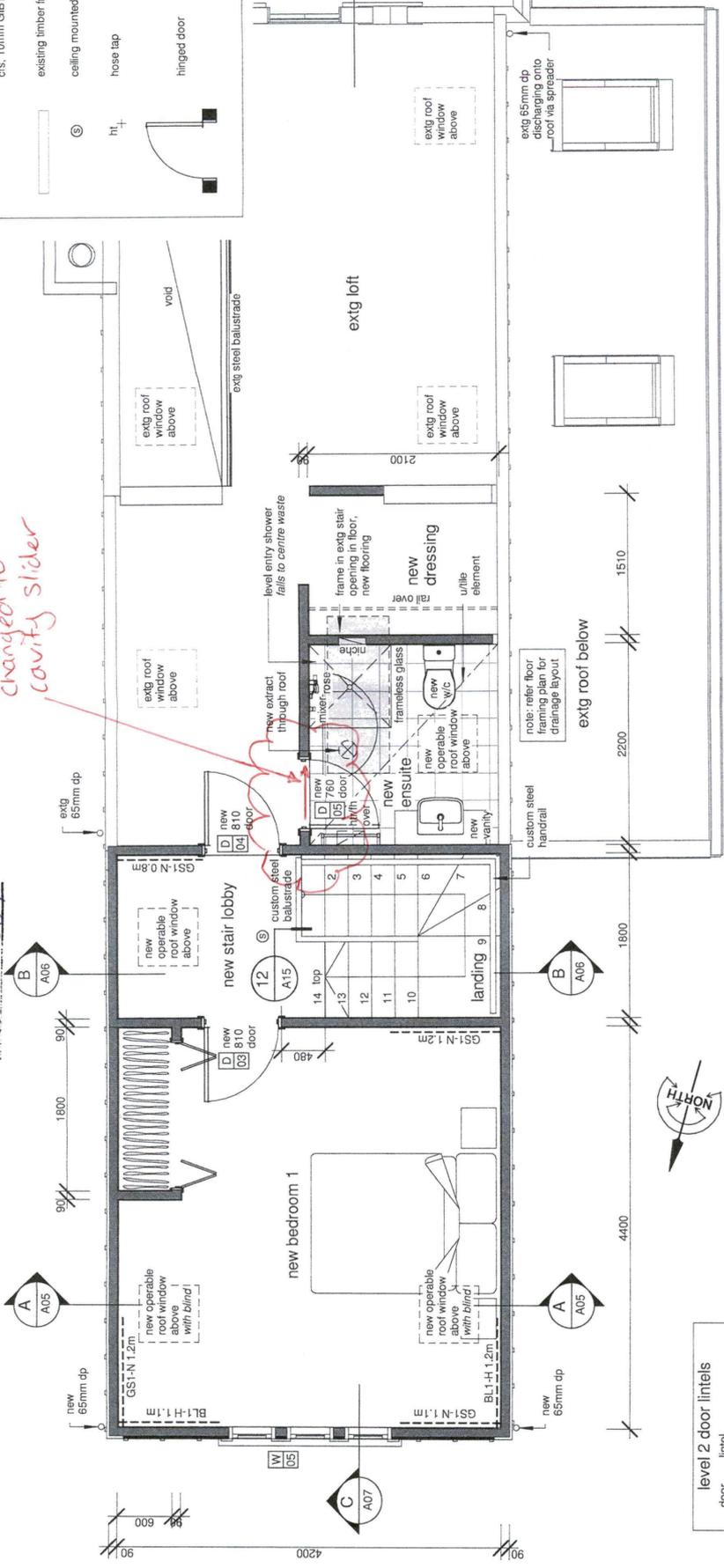
proposed alterations for		sheet title	sheet
Amanda & Neil Finn-House		floor framing	A11
4 Holyhead Street, Outram			
			
			
			
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		Date: 26/10/2017	
		Drawn: AK	
		Job #: 1725	

legend

- 90x45 H1.2 SG8 timber framed wall, studs at 400mm crs, dwangs at 600mm crs, 12mm H3 plywood cladding with 70x20 H3.2 battens at crs to match extg
- 90x45 H1.2 SG8 timber framed wall, studs at 400mm crs, dwangs at 600mm crs, 10mm GIB lining each side
- existing timber framed wall
- ceiling mounted domestic smoke alarm
- hose tap
- ht
- hinged door

plan
 revised by: JS
 date: 14/9
 no: 2017-2039

*changed to
 cavity slider*



Rev	Date	Revision Description
		<i>DOCK BENSUITE</i>

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level 2 door lintels	door lintel non-loadbearing	03
	door lintel non-loadbearing	05
level 2 window lintels	window lintel 2/190x45 H1.2 SG8	05

As Built Plan
level 2 proposed level 2 floor plan

1 : 50 @ A3



proposed alterations for
Amanda & Neil Finn-House
 4 Holyhead Street, Outram

level 2 Proposed plan

date: 26/10/2017
 draw: AK
 job #: 1725

sheet
A04



contents

- A01 site plan
- A02 demolition plans
- A03 level 1 proposed plan
- A04 level 2 Proposed plan
- A05 section A-A
- A06 section B-B
- A07 section C-C
- A08 elevations 1
- A09 elevations 2
- A10 foundation plan
- A11 floor framing
- A12 roof framing
- A13 construction details 1
- A14 construction details 2
- A15 construction details 3

Building Consent Issue

date: 26/10/2017
job #: 1725

proposed alterations for
Amanda & Neil Finn-House
4 Holyhead Street, Outram
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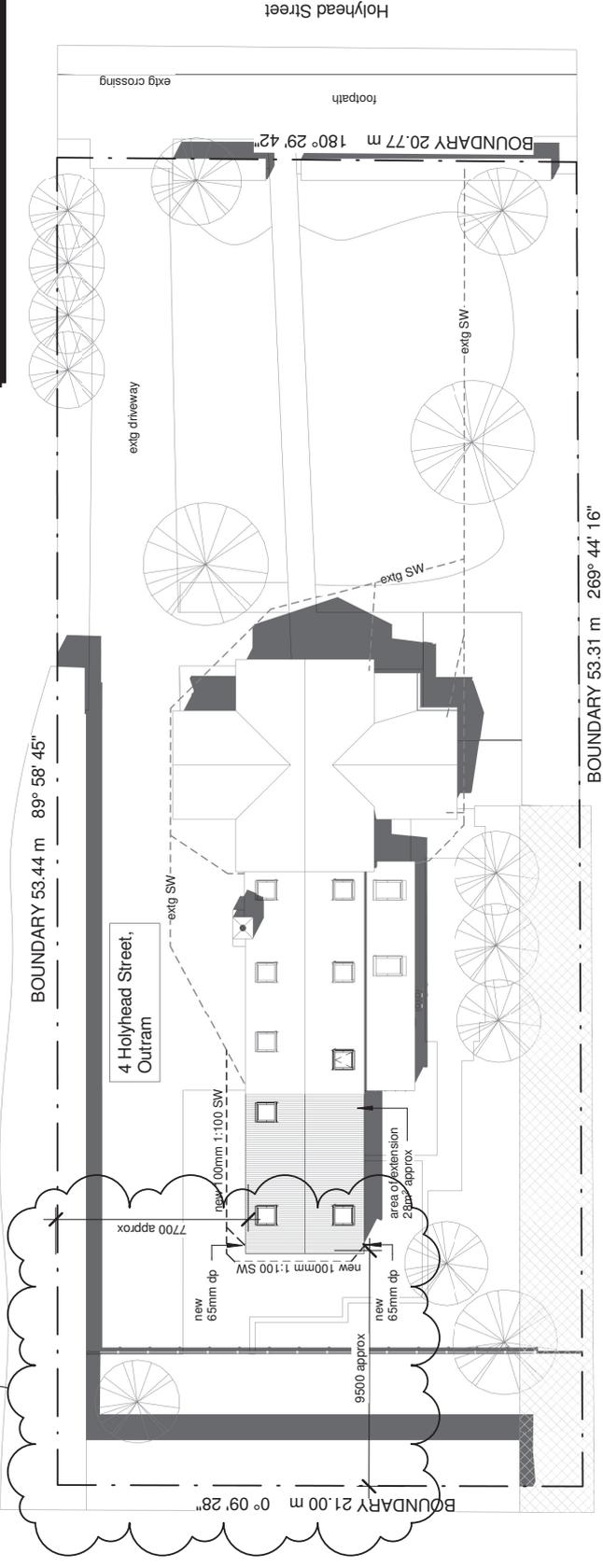


DUNEDIN CITY COUNCIL
Plans and Specifications approved in accordance
with the NZ Building Code. To be retained on works
and produced on request.
Date: 06/11/2017 **Building: P Garside**
Date: 27/10/2017 **Plumbing: K Hiltrop**

DCC CITY PLANNING
THESE PLANS ARE APPROVED
This development is permitted under the District Plan

Signed: meseeley
Date: 06/11/2017

RevA



site plan

property details	
valuation number	27921-00300
property number	5052213
site area	1012m2
legal description	LOT 23 DP 101

1 : 200 @ A3



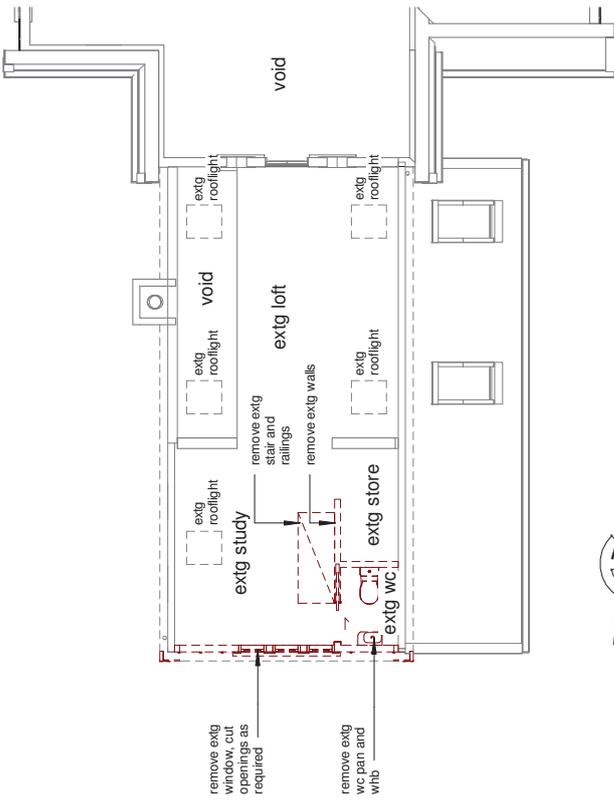
Revision Schedule	
Rev	Date
-	09/10/2017
A	12/10/2017

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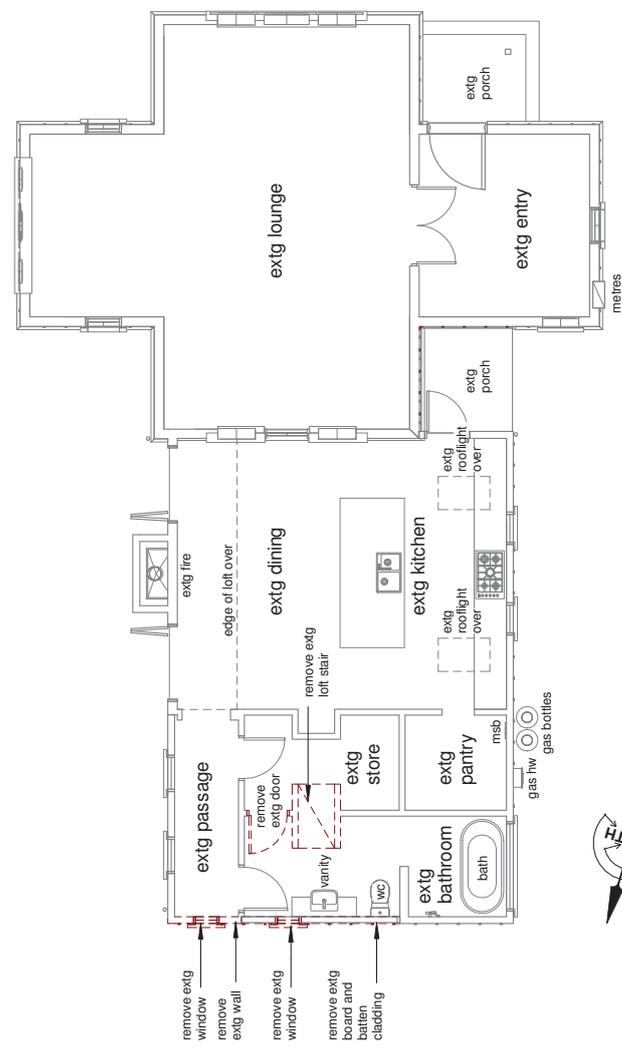
proposed alterations for	sheet title	sheet
Amanda & Neil Finn-House 4 Holyhead Street, Outram	site plan	A01
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	drawn:	AK
	job #:	1725
	RevA	





level 2 demolition plan

1 : 100 @ A3



level 1 demolition plan

1 : 100 @ A3

Revision Schedule	
Rev	Date

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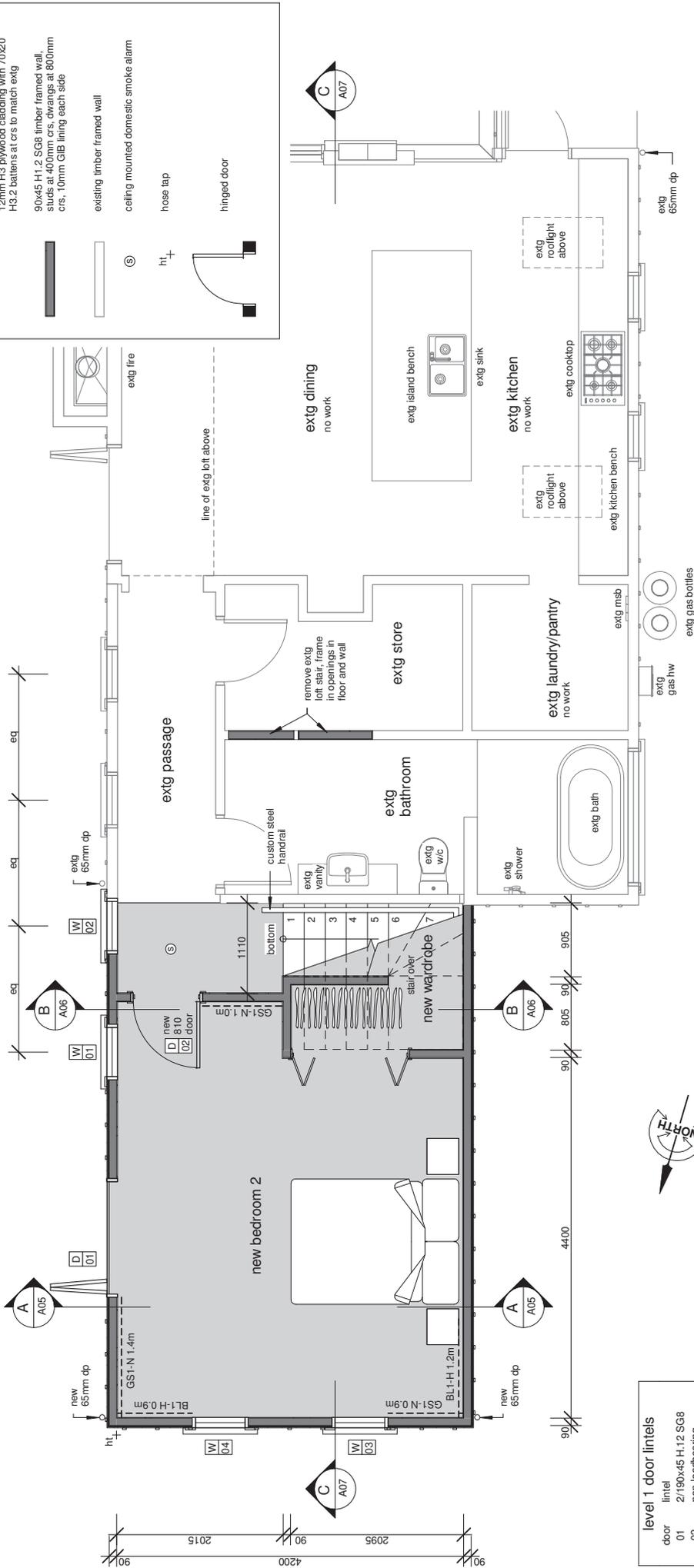
date:	26/10/2017	sheet	A02
drawn:	AK		
job #:	1725		

demolition plans

proposed alterations for
Amanda & Neil Finn-House
 4 Holyhead Street, Outram
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legend

- 90x45 H1.2 SG8 timber framed wall studs at 400mm c/s. dwangs at 800mm c/s. R2.8 fibreglass insulation, building wrap, 45x20 H3.2 timber cavity battens, 12mm H3 plywood cladding with 70x20 H3.2 battens at c/s to match extg
- 90x45 H1.2 SG8 timber framed wall studs at 400mm c/s. dwangs at 800mm c/s. 10mm GIB lining each side
- existing timber framed wall
- ceiling mounted domestic smoke alarm
- hose tap
- hinged door



Rev	Date	Revision Description

proposed level 1 floor plan

1 : 50 @ A3

level 1 door lintels

door	lintel
01	2/190x45 H.12 SG8
02	non-loadbearing

level 1 window lintels

window	lintel
01	2/140x45 H.1.2 SG8
02	2/140x45 H.1.2 SG8
03	2/80x45 H.1.2 SG8
04	2/90x45 H.1.2 SG8

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Building Consent Issue

proposed alterations for
Amanda & Neil Finn-House
 4 Holyhead Street, Outram

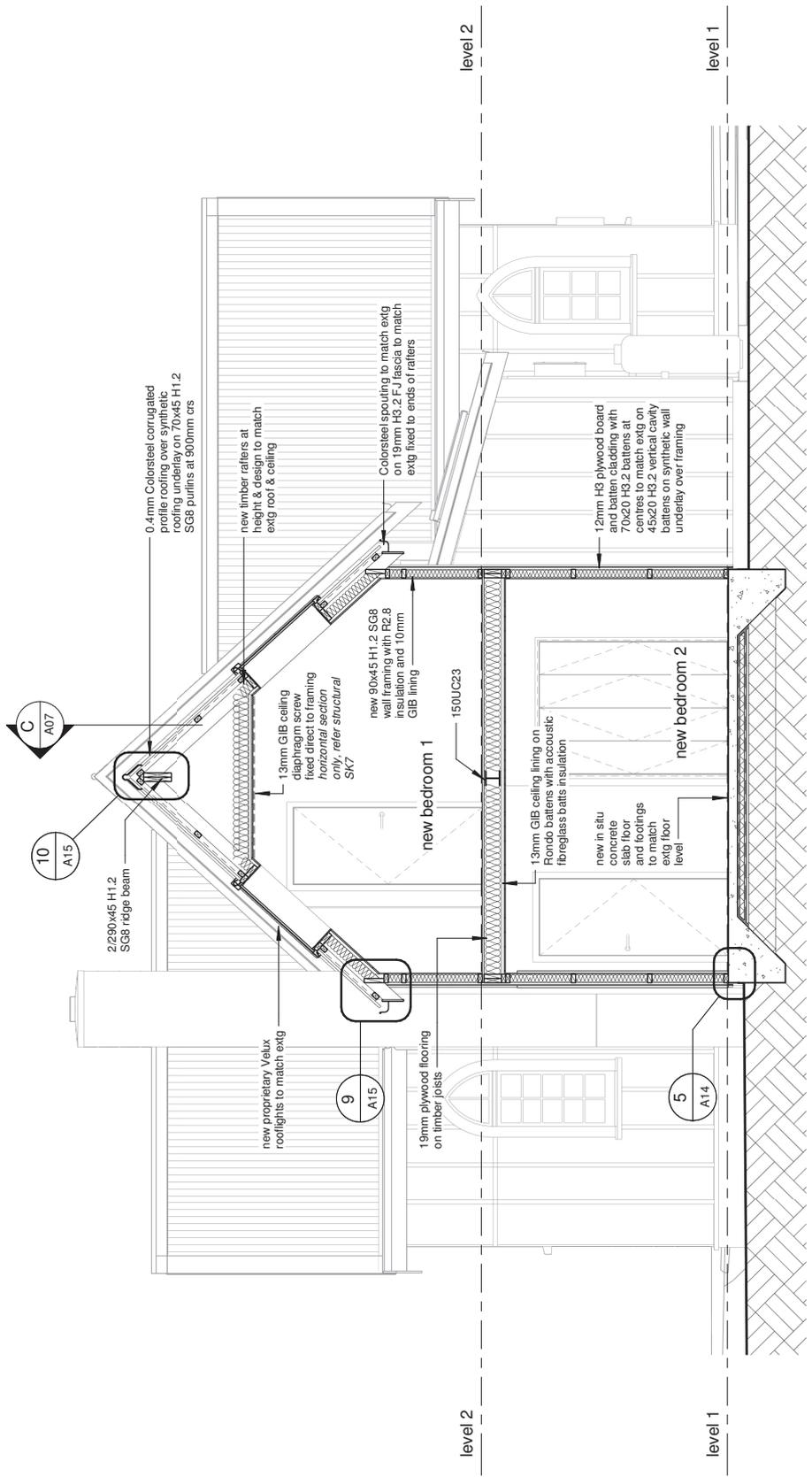
sheet title
level 1 proposed plan

sheet
A03

date: 26/10/2017
 drawn: AK
 job #: 1725

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section A-A

1 : 50 @ A3

Revision Schedule	
Rev	Date

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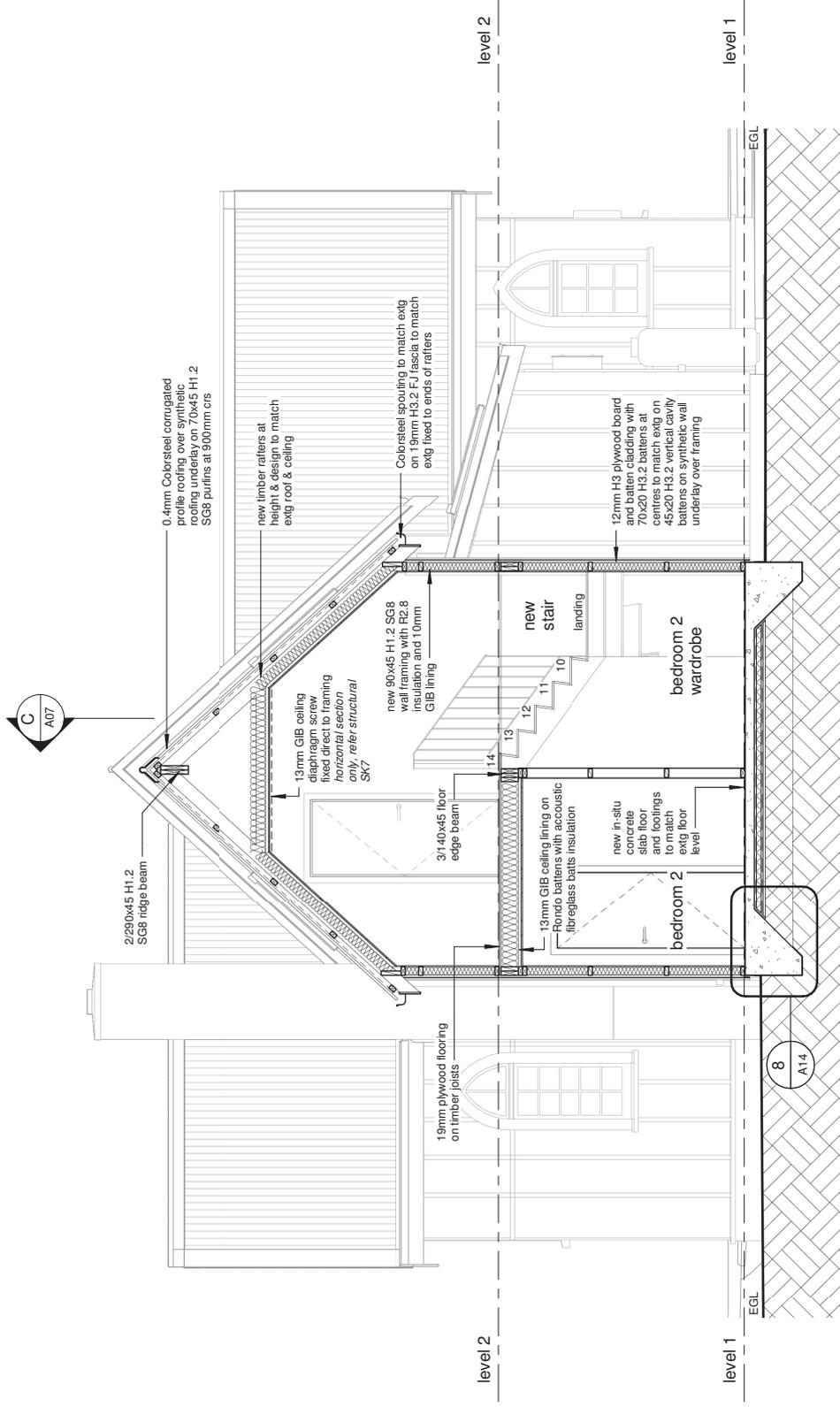
Building Consent Issue

date:	26/10/2017	sheet	A05
drawn:	AK		
job #:	1725		

section A-A

proposed alterations for
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section B-B

1 : 50 @ A3

Rev	Date	Revision Schedule	Revision Description

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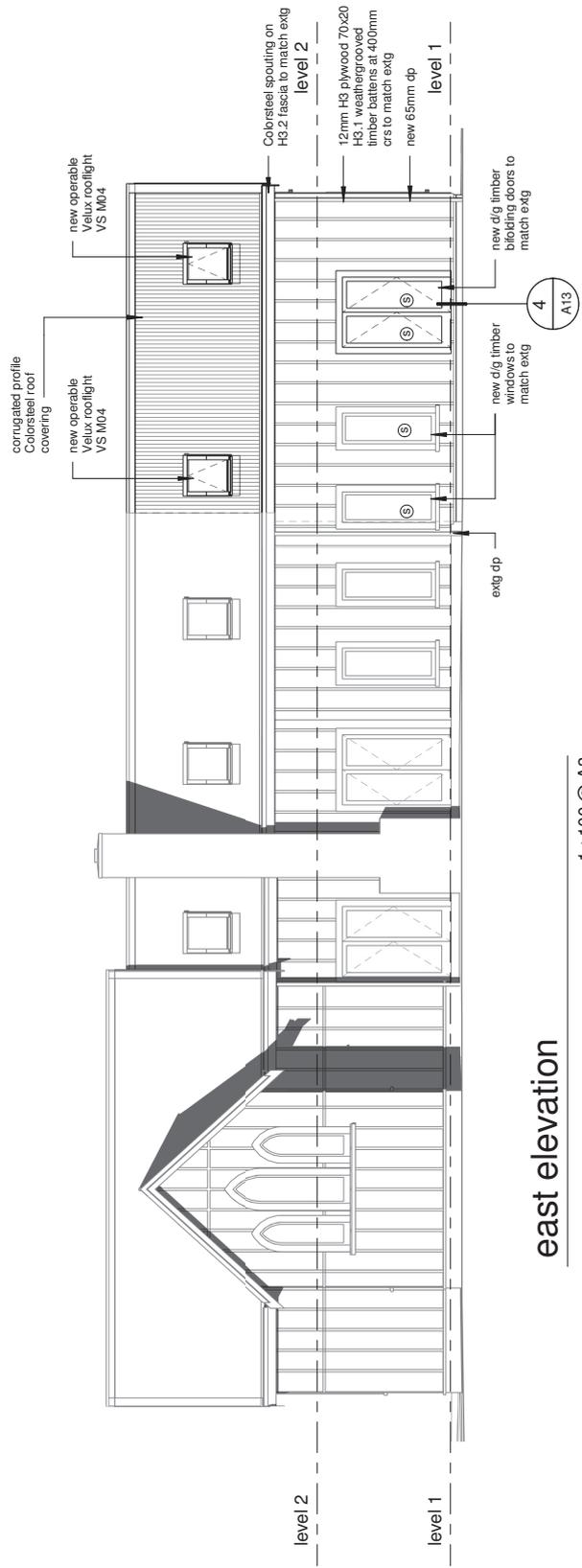
Building Consent Issue

sheet	A06
date:	26/10/2017
drawn:	AK
job #:	1725

section B-B

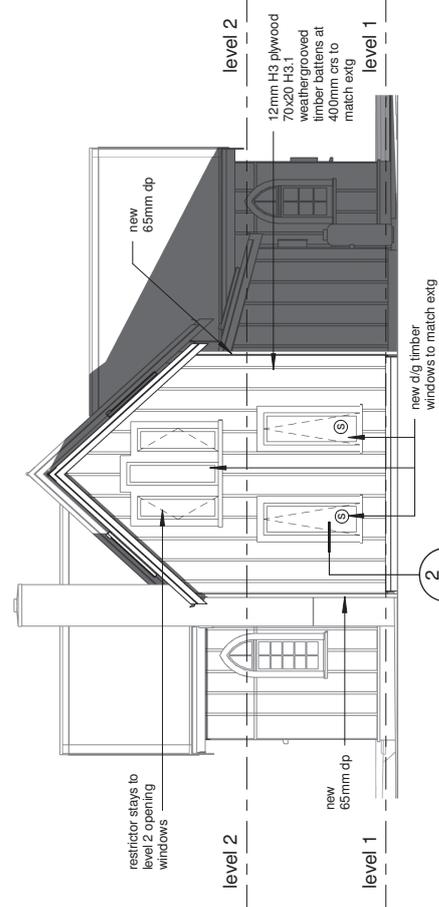
proposed alterations for
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east elevation

1 : 100 @ A3



north elevation

1 : 100 @ A3

risk factor	east	north
wind zone	1	1
number of storeys	2	2
roof/wall junctions	1	1
eaves width	5	5
envelope complexity	0	0
decks	0	0
total	9	9

Rev	Date	Revision Description

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Building Consent Issue

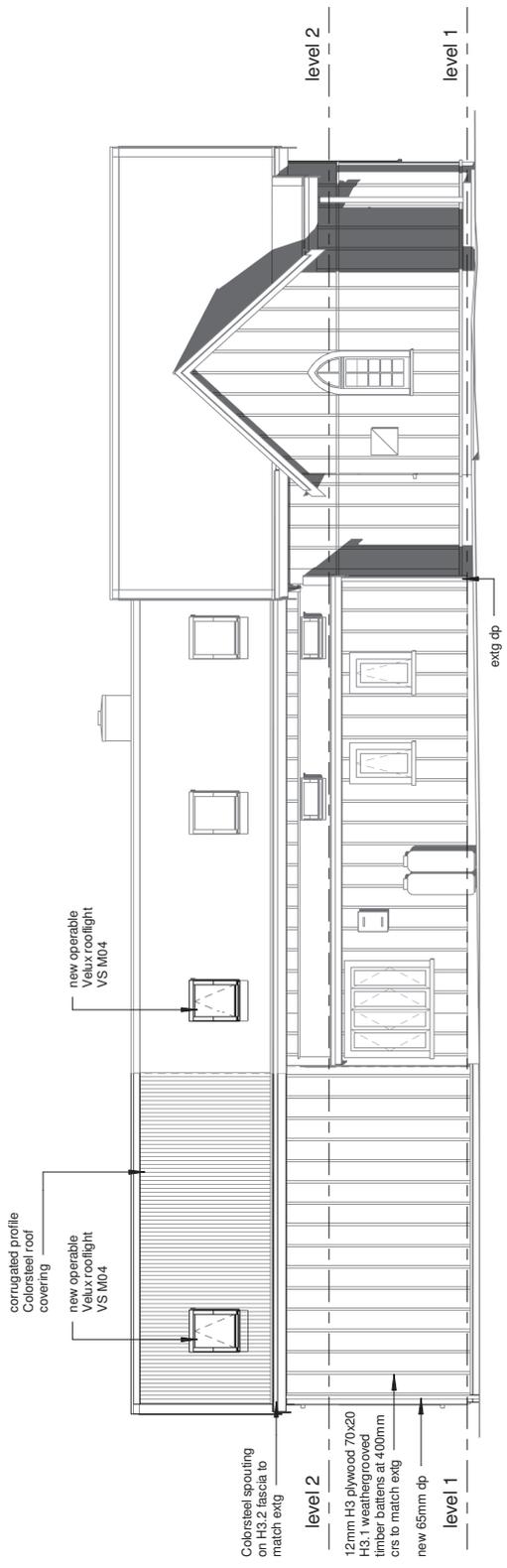
date:	26/10/2017	sheet	A08
drawn:	AK		
job #:	1725		

proposed alterations for
Amanda & Neil Finn-House
 4 Holyhead Street, Outram

sheet title
elevations 1

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west elevation

1 : 100 @ A3

risk factor	west
wind zone	1
number of storeys	2
roof/wall junctions	5
eaves width	5
envelope complexity	0
decks	0
total	13

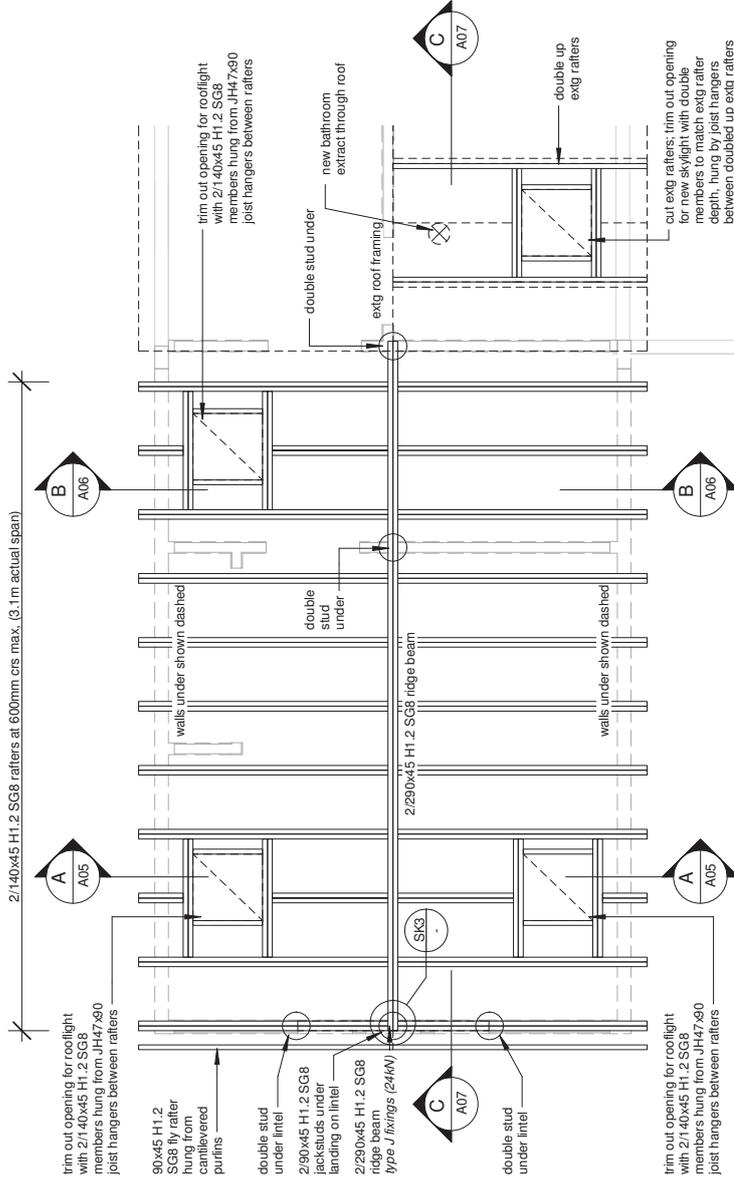
Revision Schedule	
Rev	Date

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Building Consent Issue

proposed alterations for Amanda & Neil Finn-House 4 Holyhead Street, Outram	sheet title elevations 2	sheet A09
	date: 26/10/2017	drawn: AK
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roof framing plan

1 : 50 @ A3

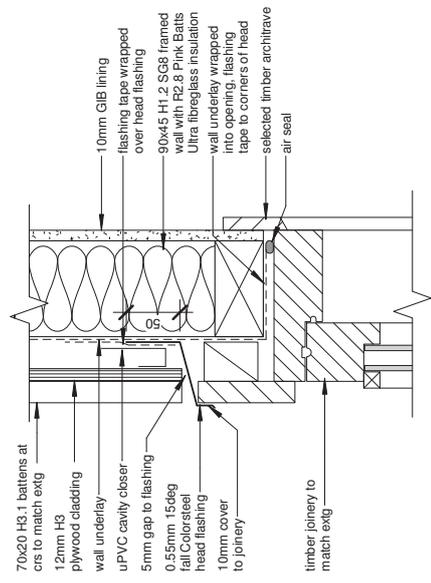
Rev	Date	Revision Schedule	Revision Description

NOTES:
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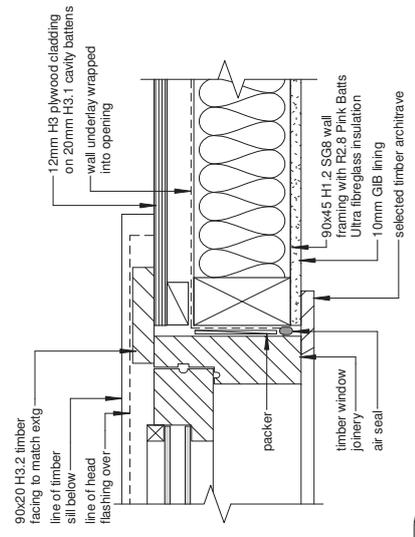
Building Consent Issue

sheet title roof framing	date: 26/10/2017	sheet A12
	drawn: AK	job #: 1725
proposed alterations for Amanda & Neil Finn-House 4 Holyhead Street, Outram		
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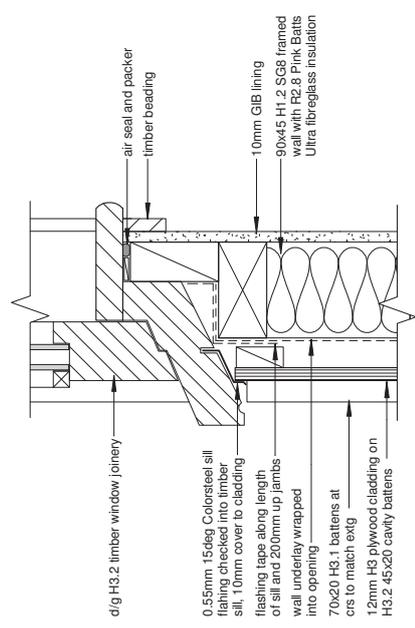




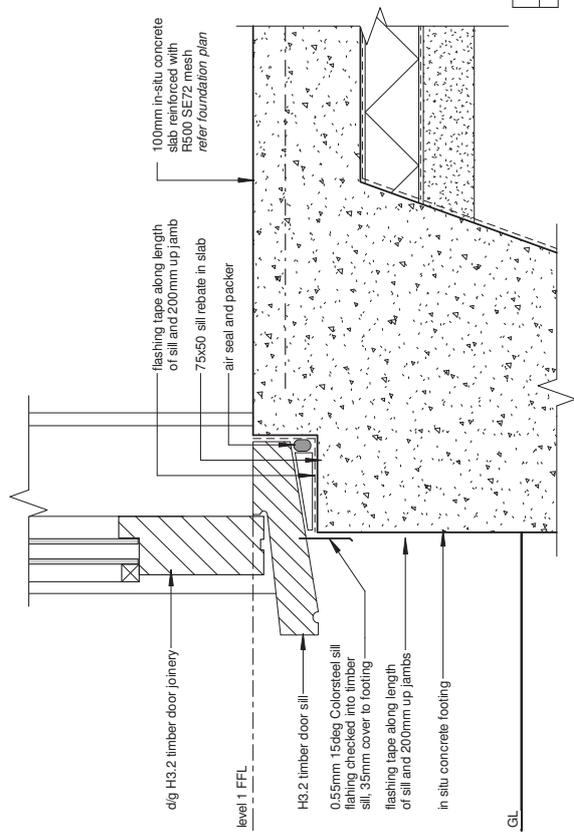
1 window head
1 : 5 @ A3



2 window jamb
1 : 5 @ A3



3 window sill
1 : 5 @ A3



4 door sill
1 : 5 @ A3

Rev	Date	Revision Schedule	Revision Description

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Building Consent Issue

proposed alterations for
Amanda & Neil Finn-House
4 Holyhead Street, Outram

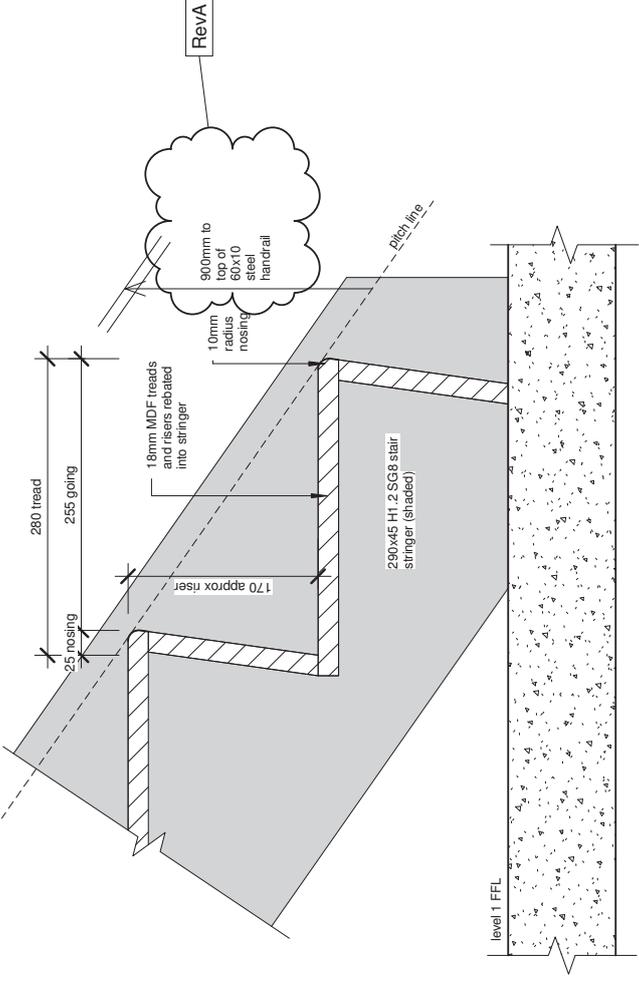
sheet title
construction details 1

date: 26/10/2017
drawn: AK
job #: 1725

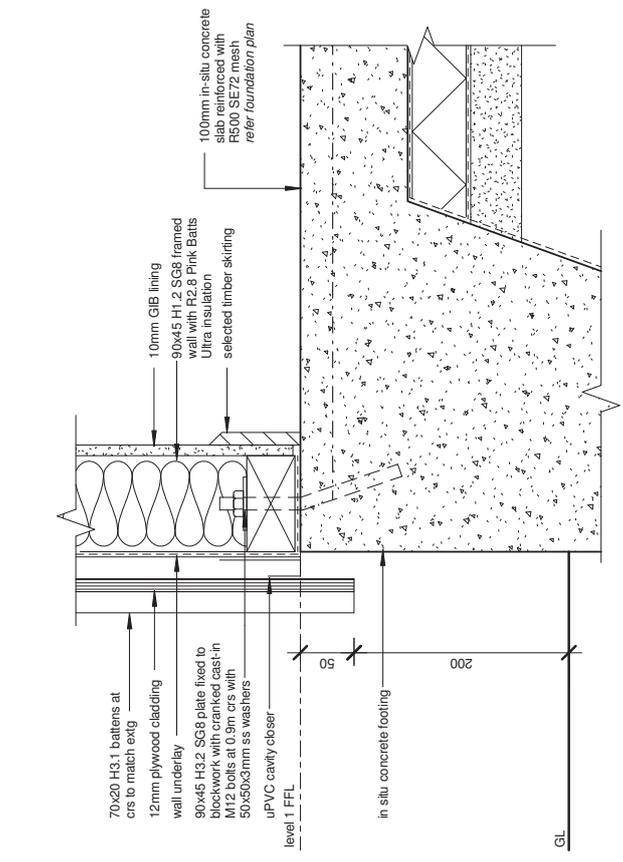
sheet
A13

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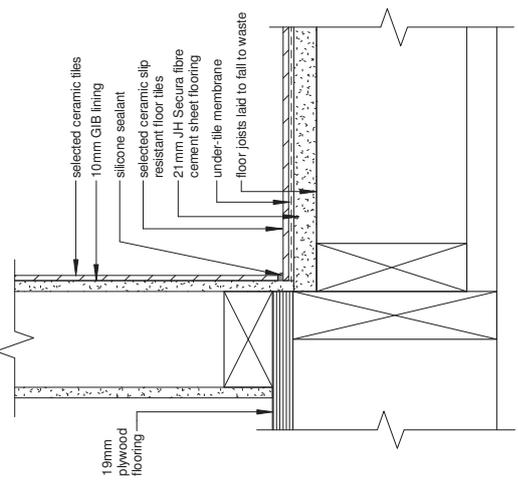




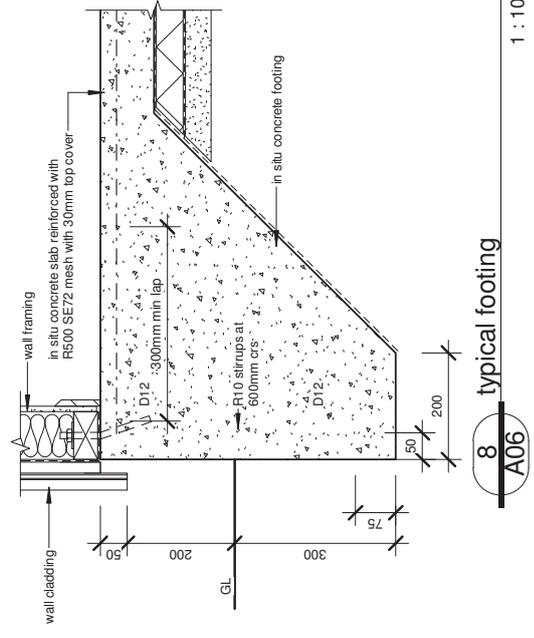
6 stair nosing
1 : 5 @ A3



5 base of cladding
1 : 5 @ A3



7 tiled shower floor to wall
1 : 5 @ A3



8 typical footing
1 : 10 @ A3

Revision Schedule	
Rev	Date
-	09/10/2017
-	03/11/2017
A	03/11/2017

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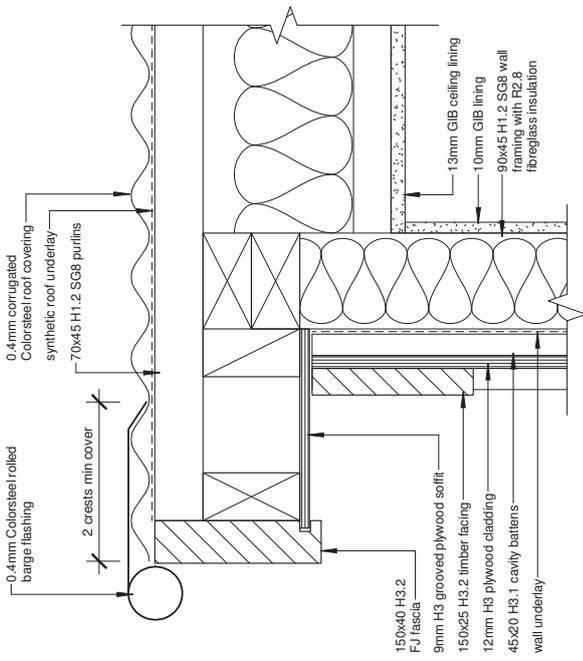
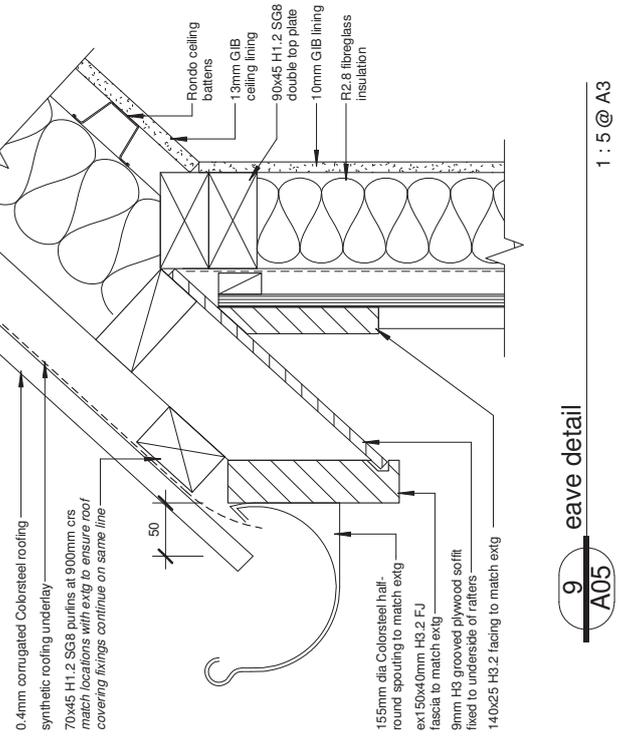
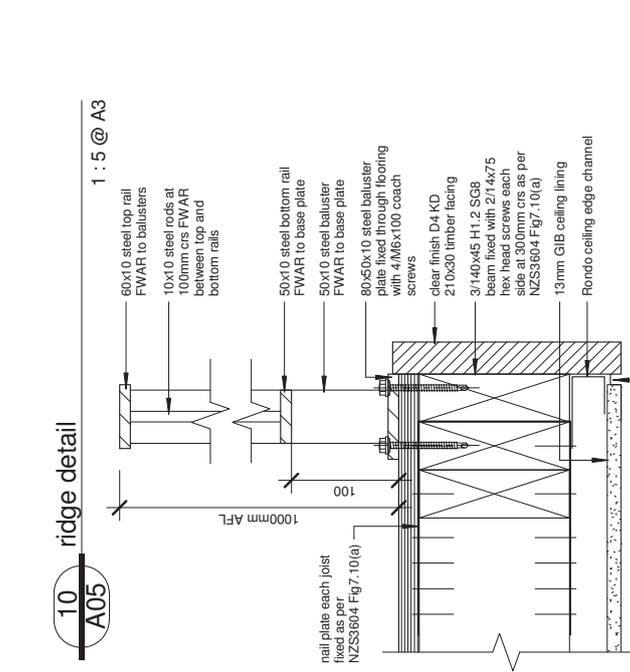
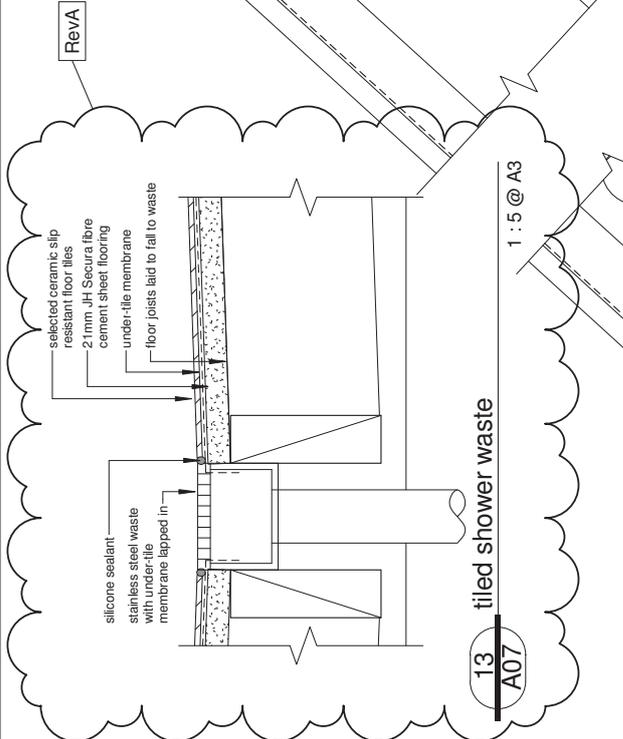
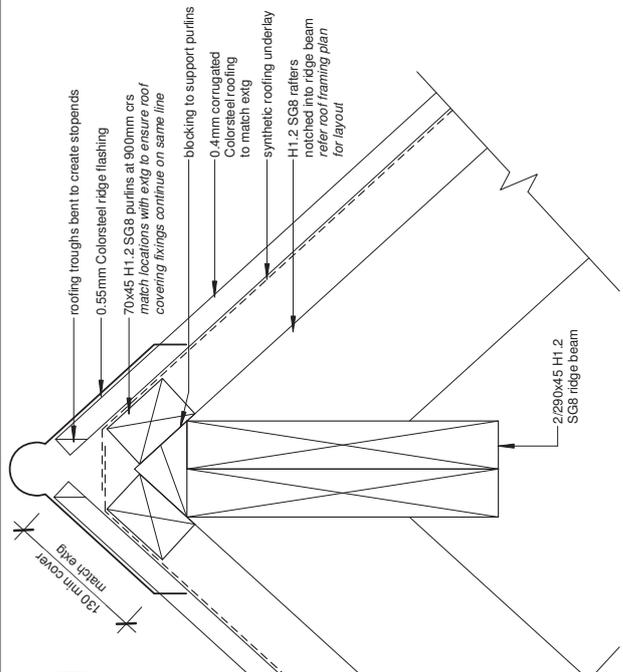
Building Consent Issue

date:	03/11/2017
drawn:	AK
job #:	1725
sheet	A14
	ReVA

sheet title
construction details 2

proposed alterations for
Amanda & Neil Finn-House
4 Holyhead Street, Outram





Revision Schedule		
Rev	Date	Revision Description
-	09/10/2017	initial consent submission
A	126/10/2017	RPFS

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Building Consent Issue

date:	26/10/2017
drawn:	AK
job #:	1725
sheet	A15
	RevA

construction details 3

proposed alterations for
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Reference: RMA20030261/5052213/226151 & 226152
Enquiries to: Paul Freeland
Direct Phone: 474 3325

22 April 2003

AJ & KR Thompson
202A Cargill Street
DUNEDIN

Dear Andrew and Katherine,

RESOURCE CONSENT APPLICATION: RMA: 2003-0261

**AJ & KR THOMPSON
4 HOLYHEAD STREET
OUTRAM**

The above application was considered by Council's Senior Planner – Consents and **granted subject to conditions** under delegated authority on 22 April 2003. The application was processed on a non-notified basis in accordance with sections 93 and 94 of the Resource Management Act 1991.

DESCRIPTION OF ACTIVITY

Resource consent is sought to construct a carport, and a residential extension to the existing church building, at 4 Holyhead Street, Outram. The site is a relatively level, rectangular front site with an area of 1012m². The legal description of the site is Allotment 23 Deposited Plan 101, contained in Certificate of Title OT27/296.

The proposed two storey residential extension is L-shaped and measures approximately 14.4m long by 8.9m wide, and connects to the northwestern part of the existing former church building. The residential addition is 6.2m high when 1.8m from the western boundary of the site. The proposed addition is 7.1m high at the apex of the roof, and features gables that are pitched at a 45° angle.

The proposal also includes two decks and a carport. The two decks measure approximately 2.0m by 4.0m, and 5.0m by 4.0m respectively, and are to be attached to the proposed residential addition. The proposed carport is 5.0m long by 3.0m wide, and is 0.6m from the western boundary of the site. The carport is 2.9m high at the apex of the roof, and the roof is virtually flat.

REASONS FOR APPLICATION

Transitional District Plan (Silverpeaks Section)

The site is zoned **Residential C** in the Transitional District Plan (Silverpeaks section).

Pursuant to Ordinance 15.2(a), a dwelling is a permitted activity, however, the proposed residential addition and carport fails to comply with the following rules of the Residential B zone:

- Ordinance 15.5(b) requires that side yards shall be one of 1.8m and one of 3.0m. The proposed carport is 0.6m from the western side boundary of the site.
- Ordinance 15.6 requires that no part of any building should exceed 3.6m in height along the side yard of 1.8m. Beyond the line of the minimum side yard, no part of any building shall exceed the height determined by an upwards inclined plane of 25° originating from the maximum height allowed in the side yard. The proposed residential addition is 6.2m high when 1.8m from the side boundary.

Ordinance 1.12(4)(b)(ii) allows Council to dispense totally with side yard and height requirements, the proposal is therefore a **discretionary** activity in terms of the Transitional District Plan in accordance with section 374(1)(b) of the Resource Management Act 1991.

Proposed District Plan

The site is zoned **Residential 5** in the Proposed District Plan.

Rule 8.11.1(i) lists residential activity as a **permitted** activity, at a density of not less than 1000 m² of site area per residential unit. The site area is 1012 m².

Permitted activities are subject to compliance with the relevant conditions of Rule 8.11.2.

The proposed residential addition to the existing church building, and carport, do not comply with the following standards:

- Rule 8.11.2(i)(a) specifies a minimum side yards of 2m. The proposed carport will encroach upon the western side yard by approximately 1.4m.
- Rule 8.11.2(ii) specifies a height plane angle of 63°. The proposed residential addition will encroach upon the height plane on the western side boundary by 12°.

The proposal is therefore a **discretionary (restricted)** activity in accordance with Rule 8.7.4(i) with Council's discretion being restricted to the conditions with which it does not comply.

Planning Status

Overall, the proposal is considered to be a **discretionary** activity.

PLANNING ASSESSMENT

Affected Persons

The written approval of the people listed in the following table has been obtained. In accordance with section 104(6) of the Act, where written approval has been obtained from affected parties, the consent authority cannot have regard to the effect of the activity on that person.

Person	Owner	Occupier	Address	Date obtained
Tom van Aalst Maria van Aalst	4	4	2 Holyhead St	27 January 2003
Transit New Zealand	4	4	State Highway 87	11 April 2003

No other parties are considered to be potentially adversely affected by this proposal for the reasons set out in the 'Effects on the Environment' section below.

Effects on the Environment

The following effects assessment only takes into account the effects of the proposed activity that are relevant under section 104(6). The Courts have determined that the effects of an activity on the environment should be considered in relation to the existing environment.

The following assessment of the actual and potential effects of the proposed activity on the environment has been prepared on the basis that the environment is characterised by low-density residential activity, with houses on quarter-acre sections backing onto a rural area.

Any actual or potential adverse effects on the environment of allowing the activity are considered to be no more than minor for the following reasons:

1. Amenity Values and Character

The proposal is for a residential activity in a residential zone and in this respect the effects of the activity on amenity values and the character of the area have largely been anticipated by the zoning of the site. Although the proposed carport is located partly within the required side yard, and the proposed residential addition protrudes through the required height plane

angle, the effects are largely confined to the subject site and adjacent property listed above and will not affect the amenity values and character of the wider area. There is a 9m yard and a macrocarpa hedge between the dwelling addition and the property at 6 Holyhead Street. The owner/occupiers of the adjacent property at 2 Holyhead Street, Outram, have given consent to the proposal.

2. Bulk and Location of the Structure

The proposed carport, and residential addition, will adjoin the driveway of the neighbouring property at 2 Holyhead Street. Any associated shading or associated effects will be minimal due to the separation provided by the driveway. The existing vehicle entrance will be retained for access to the carport. The written consent of the only persons considered to be adversely affected by the proposal have been obtained, and the effects of the proposal on those persons may not be considered.

3. Design and Appearance of the Structure

The proposed residential additions, and carport, are to be built in a complimentary style to that of the existing former church building on site. The result will be a relatively typical two storey dwelling on a large site. Therefore, it is considered that the proposed additions, and carport, maintains and preserves the general residential scale and character of the area.

4. Transportation

Transit New Zealand has given consent to the proposal. The Technical Engineer, Transportation Planning, has considered the application and visited the site. The site requires two parking spaces as the gross floor area of the proposed residential dwelling is greater than 150m². Additionally, as the site fronts onto a national road (Holyhead Street - State Highway 87) under the roading hierarchy of the Proposed Plan, on-site manoeuvring is required to ensure that no vehicle is required to reverse onto or off Holyhead Street. Adequate car parks are available but the hard surfaced area will need to be enlarged to enable the second vehicle to manoeuvre and drive off the site forwards.

A new vehicle access is proposed to allow access to the carport. The access will need to be constructed in accordance with Council vehicle entrance specifications. The proposal shows the driveway as being paved and adequately drained from the back of the footpath.

The site is close to the intersection of Holyhead and Formby Streets. Pursuant to Rule 20.5.6(iii) the vehicle entrance is to be sited a minimum of 35m from the intersection of a local and a national road. The proposed vehicle entrance is 40m from the intersection and is therefore acceptable. Visibility is adequate along both directions of Holyhead Street, Outram.

Transportation Planning therefore considers the effects of the proposal to be no more than minor provided that the following conditions are placed on any resource consent issued:

- (a) Adequate manoeuvring space shall be provided on-site so that a 90th percentile design vehicle is not required to reverse directly onto or off the site; and
- (b) Parking shall be provided on-site for a minimum of two vehicles without compromising the manoeuvring space.

5. Building Safety

The Building Safety Officer, Development Services, has considered the proposal. He advises that the proposed residential addition, and carport, must comply with the New Zealand Building Code with respect to the construction of the structures.

6. Permitted Baseline

The Courts have determined that the effects of an activity on the environment should be considered in relation to the 'permitted baseline'. That is, an application must be assessed in relation to the existing environment and development that could take place on the site as of right, but excluding development that is fanciful. On this site the applicant is entitled as of right to build a dwelling and a carport that complies with all bulk and location requirements. A substantial part of the proposed development could be carried out as of right, albeit in a modified form. It is apparent that, given the yard space available on the eastern side of the site, a comparable building can be achieved without compromising the required height and bulk standards.

7. Overall Assessment of Effects on the Environment

Taking into consideration the effects of the proposal on residential amenity values and character, and the objectives and policies of the Transportation Section of the Proposed District Plan, the effects of the proposed carport, and the residential additions to the existing former church building on the subject site are considered to be no more than minor.

CONSENT DECISION

*That pursuant to section 34(4) and 105(1)(b) and after having regard to Part II matters and sections 104 and 105 of the Resource Management Act 1991, the Dunedin City Council **grants** consent to a **discretionary** activity being the construction of a residential addition to the existing former church building, and a carport at 4 Holyhead Street, Outram, being the land legally described Allotment 23 Deposited Plan 101 (CT OT27/296), subject to the following condition imposed under section 108 of the Act:*

- 1. That the proposal shall be undertaken generally in accordance with the Hanlon & Partner Ltd. plans dated 22 December 2002 Sheets A1-A12 (inclusive) and details submitted with the application received by Council on 26 March 2003.*
- 2. The additions to the existing residential dwelling, and construction of the garage, are required to comply with the New Zealand Building Act 1991.*
- 3. Adequate manoeuvring space shall be provided on-site so that a 90th percentile design vehicle is not required to reverse directly onto or off the site.*
- 4. Parking shall be provided on-site for a minimum of two vehicles without compromising the manoeuvring space.*

ADVICE NOTES

- (1) The vehicle access from the carriageway to the property boundary is over road reserve and is therefore required to be built in accordance with the Dunedin City Council Vehicle Entrance Specification (to be obtained from Roading).*
- (2) In addition to the conditions of a resource consent, the Resource Management Act establishes through Section 16 and 17 a duty for all persons to avoid unreasonable noise, and to avoid, remedy or mitigate any adverse effects created from an activity they undertake. A similar responsibility exists under the Health Act 1956.*

REASONS

Effects

In accordance with section 104(1)(a) of the Resource Management Act 1991, the actual and potential adverse effects associated with the proposed activity have been assessed and are outlined above. It is considered that the proposed activity will have no more than minor adverse effects on the environment.

District Plan – Objectives and Policies

In accordance with section 104(1)(d) of the Resource Management Act 1991, the objectives and policies of the Proposed and Transitional District Plans were taken into account in assessing the application.

Dunedin City Council

With regard to the Proposed Plan the proposal is considered to be consistent with the following objectives and policies:

- **Objective 4.2.1 and Policies 4.3.1 and 4.3.10** seek to maintain and enhance amenity values and ensure development is considered in a holistic manner.
- **Objective 8.2.1 and Policy 8.3.1** seek to ensure the adverse effects on the amenity values and character of residential areas are avoided, remedied or mitigated.
- **Objective 20.2.2 and Policy 20.3.4** seek to ensure that land use activities are undertaken in a manner, which avoids, remedies, or mitigates adverse effects on the transportation network.

Transitional District Plan (Silverpeaks section)

With regard to the Transitional Plan the proposal is considered to be consistent with the following objectives:

- **Objective 3.10.2 (Amenity General)** promotes the retention of the amenity of the various Residential areas.
- **Objective 3.10.5 (Incompatible Uses)** seeks to preserve the amenities of residential areas by avoiding the intrusion of incompatible uses

In summary, the proposal is for a typical residential dwelling in a residential area, which is consistent with the surrounding development in terms of design, appearance and amenity. The dwelling design incorporates a carport and adequate off-street carparking that will minimise the effects of carparking on the townscape amenity.

The proposed activity is considered consistent with these objectives and policies of both the Transitional and Proposed Plans for the reasons outlined under the heading ‘Effects on the Environment’ above.

Part II Matters

The proposed activity has also been assessed in terms of Part II matters of the Resource Management Act 1991. For the reasons outlined above, the proposed activity is considered consistent with section 5(2)(c); “Avoiding, remedying, or mitigating any adverse effects of activities on the environment”, section 7(c) “The maintenance and enhancement of amenity values” and section 7(f) “The maintenance and enhancement of the quality of the environment.”

COMPLIANCE WITH CONDITIONS

It is the applicant’s responsibility to comply with any conditions imposed on this resource consent prior to and during (as applicable) exercising the resource consent. Failure to comply with the conditions may result in prosecution, the penalties for which are outlined in section 339 of the Resource Management Act 1991.

DURATION OF CONSENT

It is brought to the consent holders attention that under the terms of Section 125 of the Resource Management Act 1991, this consent shall lapse if effect has not been given to it within two (2) years or Council has not granted an extension of time.

BUILDING CONSENT

This is only a resource consent and a separate application for building consent may be required before any work is undertaken on the site. Please check with the Building Control Office, Development Services.

RIGHTS OF OBJECTION

In accordance with section 357 of the Resource Management Act 1991, the consent holder may object to this decision or any condition within 15 working days of the decision being received, by applying in writing to the Dunedin City Council at the following address:

The Chief Executive
Dunedin City Council
P O Box 5045
DUNEDIN

Attn: Senior Planner – Enquiries 1st Floor

Yours faithfully

Paul Freeland
PLANNER