

Dunedin City Council Land Information Memorandum

97169

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **7 May 2024**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Records of Title as this report may not include information that is registered on the Records of Title. The Records of Title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

PROPERTY ADDRESS

11 Ben Lomond Drive Mosgiel

LIM Applicant
Print Date

One Agency Limited
07-May-2024

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PROPERTY DETAILS

Property ID 5121104
Address 11 Ben Lomond Drive Mosgiel
Parcels LOT 38 DP 482487

Rubbish Day Thursday

RATES DETAILS

Rate Account 4027770
Address 11 Ben Lomond Drive Mosgiel
Valuation Number 28020-10003

Latest Valuation Details
Capital Value \$990,000
Land Value \$510,000
Value of Improvements \$480,000
Area (Hectares) 0.0887HA
Units of Use 1

Current Rates
Current Rating Year Starting 01-Jul-2023
Dunedin City Council Rates \$3,957.94

Rates Outstanding for Year \$671.33

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

BUILDING, PLUMBING AND DRAINAGE

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

Public Sewer sheets.

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete.

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

Building and Drainage Information

Council Stormwater & Foul Sewer Connections available.

There is Council Stormwater outfalls and Foul Sewer Connections adjacent to this land, to which buildings within this land may connect. A plan of these is attached.

Private Stormwater Drains servicing existing buildings

There are Private Stormwater drains servicing existing buildings on this land.

Private Foul Drains servicing existing buildings

There are Private Foul drains servicing existing buildings on this land.

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	/CCC	-	Refused
	Lapsed	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2014-1963](#) Building Consent - Subdivision Drainage (36 Lots - Stage 8)

Lodgement Date	07-Nov-2014
Decision	Granted
Decision Date	02-Dec-2014
Current Status	CCC Issued
Previous Number	
<i>(Applications before 2007)</i>	

[ABA-2016-777](#) Building Consent - Erect Dwelling with Attached Garage, Install Yunca Monte Euro Heater

Lodgement Date	04-May-2016
Decision	Granted
Decision Date	01-Jul-2016
Current Status	CCC Issued
Previous Number	

(Applications before 2007)

Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

There are no Building or Drainage Permits recorded for this property. In some instances permits may have been recorded as building consents, please also check the consent section of the LIM.

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

HAZARDS

SITE HAZARDS

The property is identified within the report "Minimum Floor Levels for Flood Vulnerable Areas" which seeks to establish minimum floor levels for flood vulnerable areas across the municipality. Although the report is known to the Dunedin City Council the council has not assessed the report for correctness. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose including development. Please read the report here [https://2qp.dunedin.govt.nz/2qp/documents/Section32_Background_Documents/Natural_Hazards/Dunedin%20City%20Council,%20Minimum%20Floor%20Levels%20for%20Flood%20Vulnerable%20Areas%20\(GHD,%20March%202015\).pdf](https://2qp.dunedin.govt.nz/2qp/documents/Section32_Background_Documents/Natural_Hazards/Dunedin%20City%20Council,%20Minimum%20Floor%20Levels%20for%20Flood%20Vulnerable%20Areas%20(GHD,%20March%202015).pdf)

This area has been identified as lying within a zone susceptible to amplified shaking in an earthquake.

Natural hazards on the Taieri Plains, Otago

This property has been identified as lying within Flood Hazard Area 21

Parts of this area are exposed to flood hazard from the Owhiro Stream and, to a lesser degree, the Silver Stream, and the hill catchments to the east. The Silver Stream is very incised at this location. The area lies within the East Taieri Drainage Scheme which provides land drainage to a rural standard.

This information has been sourced from the **Otago Regional Council Report (2012) Natural Hazards on the Taieri Plains, Otago**. Further details, including a copy of the report are available on their website:

<https://www.orc.govt.nz/media/1722/flood-hazard-on-the-taieri-plain.pdf>

The Otago Regional Council has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.

These reports are publicly available and can be accessed here:

<https://www.orc.govt.nz/plans-policies-reports/reports-and-publications/natural-hazards>

These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report. We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.

Otago Regional Council - Natural Hazards Database

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

HAZARDOUS SUBSTANCES

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates If you have any questions, please contact Worksafe.

Contaminated Site, Hazardous Substances and Dangerous Goods Information

No information

ENVIRONMENTAL HEALTH

No records were found of Environmental Health involvement with this property.

LICENSING

Health Licensing

There are no records of any Health Licences for this property.

Liquor Licensing

There are no records of any Liquor Licences for this property.

CITY PLANNING

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz ; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection.

Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

District Plan Information

Dunedin currently has an Operative Dunedin City District Plan, and the Proposed Second Generation Dunedin City District Plan (2GP). Accordingly, both of these plans may affect the development potential of this site and surrounding properties.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The 2GP was publicly notified on Saturday 26 September 2015. The submission period closed on Tuesday 24 November 2015. Decisions on the 2GP were released on Wednesday 7 November 2018. The appeal period closed on Wednesday 19 December 2018. The schedule of appeals can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

You are advised to refer to our website to determine which rules in the 2GP have legal effect or are fully operative, and to determine which rules in the Operative District Plan are now inoperative.

The 2GP is subject to change at any time. Variation 2 (Additional Housing Capacity) to the 2GP was notified on Wednesday 3 February 2021. No rule changes proposed in Variation 2 had legal effect from the date of notification. Rules that did not have submissions in opposition to them are deemed operative.

Please refer to our website for more information on Variation 2 at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

Further rules will come into legal effect and/or become fully operative at the release of decisions and the resolution of appeals.

You should check with the Council whether any changes have occurred since the date this LIM report was issued. The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued: there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

OPERATIVE DISTRICT PLAN INFORMATION

Zoning

This property is zoned as follows in the District Plan.

Zone

RESIDENTIAL 1

Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA Lmax between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

Noise Zone

50Dt/35Nt dBA, 45SP dBA

Designation 274 - Dunedin International Airport Approach and Land Use Controls

This property is within or partly within the designated take-off and approach fan for the Dunedin International Airport (Designation 274). Refer to Planning Map 72 for the land use controls that apply in relation to this designation.

Form Air

Approach Fan

SECOND GENERATION PLAN INFORMATION

Zoning

- General Residential 1 (refer Section 15, Residential)

Scheduled Items

- Dunedin Airport Flight Fan Designation

Overlay Zones

- Hazard 3 (flood) Overlay Zone

Mapped Areas

- Structure Plan Mapped Area
 - Name: Mosgiel East

Resource Consents

The following Resource Consents are recorded for this property.

SUB-2014-124	Subdivision Consent
Description	subdivision creating 37 lots - stage 8 of the Highland Park subdivision
Lodgement Date	30-Jul-2014
Decision	Granted
Decision Date	02-Oct-2014
Current Status	s224c Issued

SUB-2014-20	Subdivision Consent
Description	subdivision creating 18 lots - stage 7 of the Highland Park subdivision
Lodgement Date	27-Mar-2014
Decision	Granted
Decision Date	30-Apr-2014
Current Status	s224c Issued

[SUB-2013-25/2/B](#) Subdivision Consent
Description s127 change or cancellation of conditions for stage 6 - LT 468396
Lodgement Date 24-Jul-2013
Decision s127 Upheld
Decision Date 26-Jul-2013
Current Status **s224c Issued**

[SUB-2013-25/1/A](#) Subdivision Consent
Description s127 change or cancellation of conditions for stage 5 - LT 463743
Lodgement Date 24-Jul-2013
Decision s127 Upheld
Decision Date 26-Jul-2013
Current Status **s224c Issued**

[SUB-2013-25](#) Subdivision Consent
Description subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision
Lodgement Date 29-Apr-2013
Decision Granted
Decision Date 29-May-2013
Current Status **Consent Issued**

RESOURCE CONSENTS WITHIN 50 METRES OF 11 BEN LOMOND DRIVE MOSGIEL
[5120612](#) 7 Ben Lomond Drive Mosgiel

[LUC-2014-128](#) Land Use Consent land use consequential to a subdivision consent. The outcome was Granted on 30/04/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

[5120613](#) 20 Ayrshire Drive Mosgiel

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

[5120626](#) 15 Ayrshire Drive Mosgiel

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5120627 17 Ayrshire Drive Mosgiel

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5120628 9 Ben Lomond Drive Mosgiel

[LUC-2014-128](#) Land Use Consent land use consequential to a subdivision consent. The outcome was Granted on 30/04/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5121105 13 Ben Lomond Drive Mosgiel

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5121106 15 Ben Lomond Drive Mosgiel

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5121107 17 Ben Lomond Drive Mosgiel

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

[5121122](#) 8 Carnoustie Lane Mosgiel

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

[5121123](#) 10 Carnoustie Lane Mosgiel

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

[5121124](#) 12 Carnoustie Lane Mosgiel

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

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[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

[5124027](#) 7 Kinloch Place Mosgiel

[SUB-2015-102](#) Subdivision Consent subdivision of Lot 408 SUB-2014-153 (at 12A Hagart-Alexander Drive) into 28 residential lots, road, and balance areas, including subdivision earthworks - stage 10 of the Highland Park subdivision. The outcome was Granted on 23/03/2016.

[SUB-2014-153](#) Subdivision Consent subdivision creating 10 lots - stage 9 of the Highland Park subdivision. The outcome was Granted on 19/12/2014.

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

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[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5124028 9 Kinloch Place Mosgiel

[SUB-2015-102](#) Subdivision Consent subdivision of Lot 408 SUB-2014-153 (at 12A Hagart-Alexander Drive) into 28 residential lots, road, and balance areas, including subdivision earthworks - stage 10 of the Highland Park subdivision. The outcome was Granted on 23/03/2016.

[SUB-2014-153](#) Subdivision Consent subdivision creating 10 lots - stage 9 of the Highland Park subdivision. The outcome was Granted on 19/12/2014.

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[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5124029 11 Kinloch Place Mosgiel

[SUB-2015-102](#) Subdivision Consent subdivision of Lot 408 SUB-2014-153 (at 12A Hagart-Alexander Drive) into 28 residential lots, road, and balance areas, including subdivision earthworks - stage 10 of the Highland Park subdivision. The outcome was Granted on 23/03/2016.

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[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5124030 10 Kinloch Place Mosgiel

[SUB-2015-102](#) Subdivision Consent subdivision of Lot 408 SUB-2014-153 (at 12A Hagart-Alexander Drive) into 28 residential lots, road, and balance areas, including subdivision earthworks - stage 10 of the Highland Park subdivision. The outcome was Granted on 23/03/2016.

[SUB-2014-153](#) Subdivision Consent subdivision creating 10 lots - stage 9 of the Highland Park subdivision. The outcome was Granted on 19/12/2014.

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5124031 8 Kinloch Place Mosgiel

[LUC-2015-545](#) Land Use Consent future residential activity with reduced front yards of 3.0m along various lots of SUB-2015-102 (Lots 44, 46, 53, 54, 55, 65, 76 & 77), and retrospective approval for earthworks on Lots 77, 84 and 85. The outcome was Granted on 23/03/2016.

[SUB-2015-102](#) Subdivision Consent subdivision of Lot 408 SUB-2014-153 (at 12A Hagart-Alexander Drive) into 28 residential lots, road, and balance areas, including subdivision earthworks - stage 10 of the Highland Park subdivision. The outcome was Granted on 23/03/2016.

[SUB-2014-153](#) Subdivision Consent subdivision creating 10 lots - stage 9 of the Highland Park subdivision. The outcome was Granted on 19/12/2014.

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

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[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5124032 6 Kinloch Place Mosgiel

[LUC-2015-545](#) Land Use Consent future residential activity with reduced front yards of 3.0m along various lots of SUB-2015-102 (Lots 44, 46, 53, 54, 55, 65, 76 & 77), and retrospective approval for earthworks on Lots 77, 84 and 85. The outcome was Granted on 23/03/2016.

[SUB-2015-102](#) Subdivision Consent subdivision of Lot 408 SUB-2014-153 (at 12A Hagart-Alexander Drive) into 28 residential lots, road, and balance areas, including subdivision earthworks - stage 10 of the Highland Park subdivision. The outcome was Granted on 23/03/2016.

[SUB-2014-153](#) Subdivision Consent subdivision creating 10 lots - stage 9 of the Highland Park subdivision. The outcome was Granted on 19/12/2014.

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

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[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

5124559 5 Kinloch Place Mosgiel

[SUB-2015-102](#) Subdivision Consent subdivision of Lot 408 SUB-2014-153 (at 12A Hagart-Alexander Drive) into 28 residential lots, road, and balance areas, including subdivision earthworks - stage 10 of the Highland Park subdivision. The outcome was Granted on 23/03/2016.

[SUB-2014-153](#) Subdivision Consent subdivision creating 10 lots - stage 9 of the Highland Park subdivision. The outcome was Granted on 19/12/2014.

[SUB-2014-124](#) Subdivision Consent subdivision creating 37 lots - stage 8 of the Highland Park subdivision. The outcome was Granted on 02/10/2014.

[SUB-2014-20](#) Subdivision Consent subdivision creating 18 lots - stage 7 of the Highland Park subdivision. The outcome was Granted on 30/04/2014.

[SUB-2013-25/B](#) Subdivision Consent s127 change or cancellation of conditions for stage 6 - LT 468396. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25/A](#) Subdivision Consent s127 change or cancellation of conditions for stage 5 - LT 463743. The outcome was s127 Upheld on 26/07/2013.

[SUB-2013-25](#) Subdivision Consent subdivision creating 37 residential lots, access lot, road to vest and balance lots - stages 5 & 6 of the Highland Park subdivision. The outcome was Granted on 29/05/2013.

[5130698](#) 29 Dundee Road Mosgiel

[SUB-2018-104](#) Subdivision Consent stage 1. The outcome was Staged Subdivision on 10/01/2019.

[SUB-2018-151](#) Subdivision Consent subdivision of 164 & 176 Factory Road into 35 residential lots and road. The outcome was Granted on 05/02/2019.

[SUB-2018-144](#) Subdivision Consent subdivision into two lots. The outcome was Granted on 16/01/2019.

[SUB-2018-104](#) Subdivision Consent a four-lot subdivision in two stages. The outcome was Granted on 10/12/2018.

[SUB-2009-76](#) Subdivision Consent Boundary adjustment subdivision. The outcome was Granted on 08/10/2009.

[RMA-1993-355792](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT SUBDIVISION INVOLVING CERTIFICATES OF TITLE 15A/179 AND 13B/1469 (Notified - Non Complying). The outcome was Granted on 17/11/1993.

[RMA-1992-355026](#) Resource Management Act (Historical Data) SUBDIVISION OF LOT 35 DP 254 Ownr:HENDRY / App: JOHNSTON WHITNEY BOX 3 MOSGIEL (Notified - Non Complying). The outcome was Granted on 24/06/1992.

[RMA-1992-351332](#) Resource Management Act (Historical Data) Section 226 certificate to facilitate freeholding of existing perpetual leases for Lots 9, 10, 29, 30 & 35 DP 254 Ownr:DCC / App: N.J. Dunckley PO Box 5045 (Non-Notified - Non Complying). The outcome was Granted on 10/09/1992.

[RMA-1992-351307](#) Resource Management Act (Historical Data) Section 226 certification for Lots 9, 10, 29, 30 & 35 DP 254 Ownr:DCC / App: N.J. Dunckley PO Box 5045 (Non-Notified - Non Complying). The outcome was Granted on 18/06/1992.

[5130699](#) 31 Dundee Road Mosgiel

[SUB-2018-104](#) Subdivision Consent stage 1. The outcome was Staged Subdivision on 10/01/2019.

[SUB-2018-151](#) Subdivision Consent subdivision of 164 & 176 Factory Road into 35 residential lots and road. The outcome was Granted on 05/02/2019.

[SUB-2018-144](#) Subdivision Consent subdivision into two lots. The outcome was Granted on 16/01/2019.

[SUB-2018-104](#) Subdivision Consent a four-lot subdivision in two stages. The outcome was Granted on 10/12/2018.

[SUB-2009-76](#) Subdivision Consent Boundary adjustment subdivision. The outcome was Granted on 08/10/2009.

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[RMA-1992-351332](#) Resource Management Act (Historical Data) Section 226 certificate to facilitate freeholding of existing perpetual leases for Lots 9, 10, 29, 30 & 35 DP 254 Ownr:DCC / App: N.J. Dunckley PO Box 5045 (Non-Notified - Non Complying). The outcome was Granted on 10/09/1992.

[RMA-1992-351307](#) Resource Management Act (Historical Data) Section 226 certification for Lots 9, 10, 29, 30 & 35 DP 254 Ownr:DCC / App: N.J. Dunckley PO Box 5045 (Non-Notified - Non Complying). The outcome was Granted on 18/06/1992.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

TRANSPORT

No Transport information was found for this property

As of the 24th April 2015, the Transport Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined for Transport information in relation to the property.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

3 WATERS

WATER

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

FOUL SEWER AND WASTE WATER

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz

APPENDIX

Glossary of terms and abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

Terms used in Permits & Consents

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

General terms

- RDMS Records and Document Management System



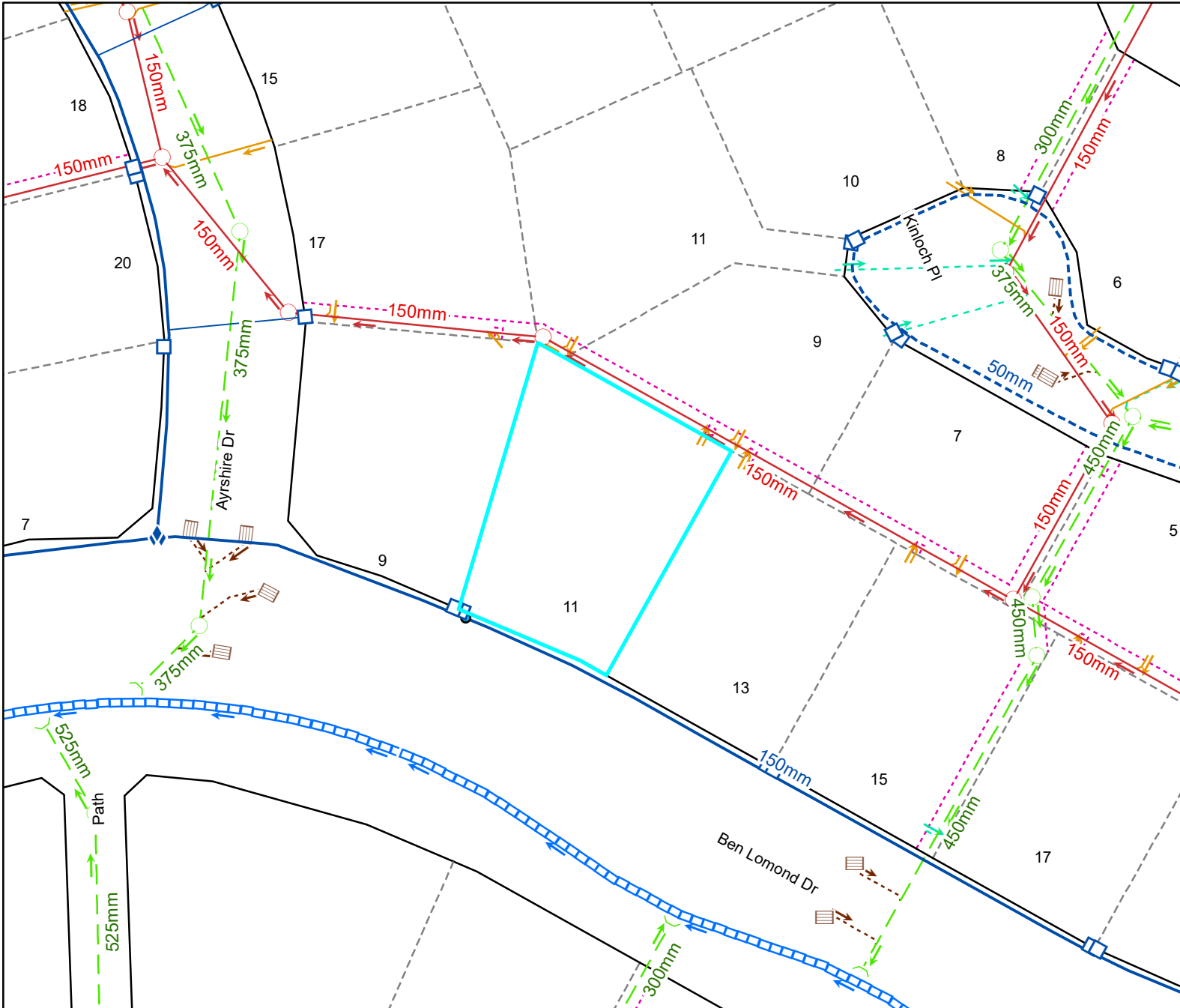
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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
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Legend

Water Supply		Water Non-Return Valve	
	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Rider
	Water Valve - Sluice		Scour
	Water Hydrant		Water Service Lateral
	Water Backflow Preventor - RPZ		Water Fire Service Lateral
			Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage		Pump Station	
	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lampohle		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater		Roading Bubble-Up Tank	
	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lampohle		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General		Cadastral	
	DCC Water & Waste Structure		Parcel
	Railway Centreline		Road/Rail
	Hydro		Motorway Parcels
	Strata		Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

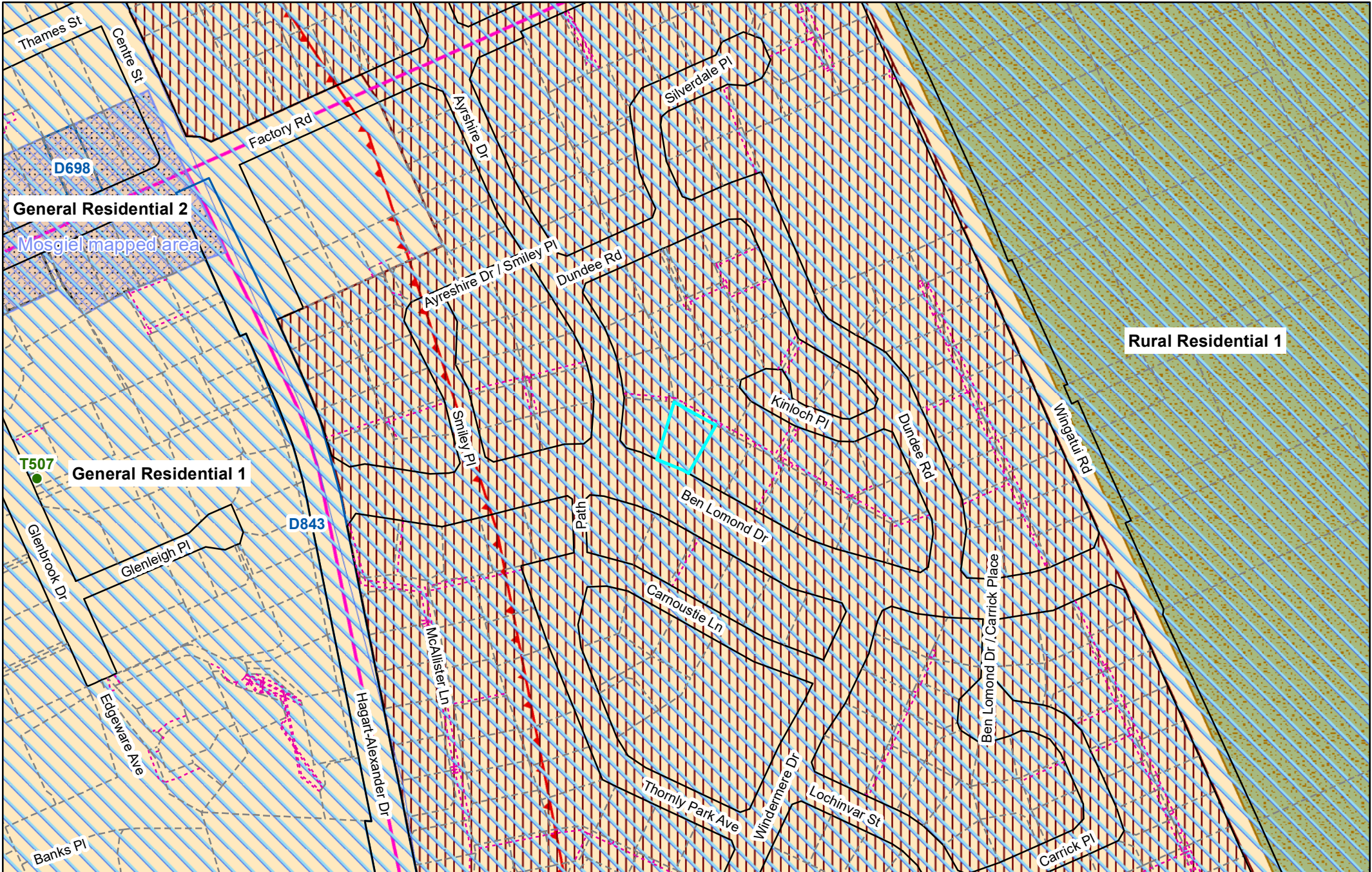
Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

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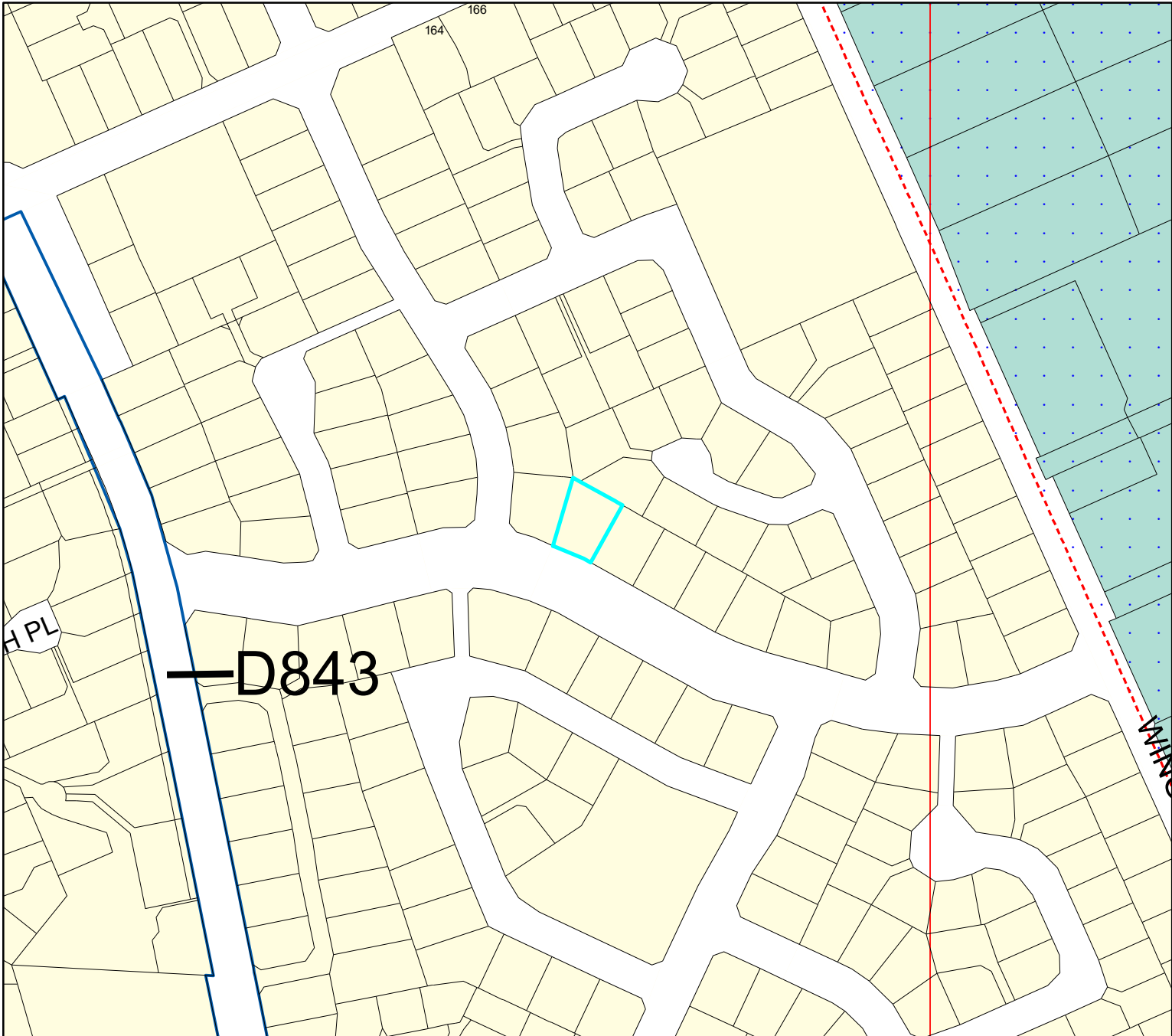
Second Generation District Plan

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Legend

- Significant Trees
 - ◆ Transpower Structure
 - Transpower Lines
 - Heritage Structure
 - Heritage Facade
 - ⊗ DP Archaeological Sites
 - Airport Fan Designation 274 bdy
 - Port Height Restrictions
 - DP Designations
 - Urban Landscape Conservation Area
 - DP Taieri Aerodrome
 - Restricted Water Supply Area
 - Ground Water Protection Zone A
 - Ground Water Protection Zone B
 - Public Roads not Legal
 - Unformed Legal Road
-
- ### Port & Airport Noise
- XXXX Air Noise Boundary
 - XXXX Airport Outer Control Boundary
 - XXXX Outer Port Control Boundary
 - XXXX Port Noise Boundary
-
- ### Esplanade Requirement
- ☆☆☆ Esplanade Reserve Required
 - ☆☆☆☆ Esplanade Strip Required
-
- ### Landscape Management Boundary
- outside boundary
 - boundary between areas
 - prominence boundary
-
- ### Townscape
- Townscape and Heritage Precinct Boundary - Internal
 - Townscape and Heritage Precinct Boundary
-
- ### Pedestrian Frontage
- Identified Pedestrian Crossing
 - Verandah Required
-
- ### Areas of Significant Conservation Value boundary
- ASCV Boundary
 - ASCV Boundary - Internal
 - Areas of Significant Conservation Value (Estuarine edge)
 - Areas of Significant Conservation Value (Wetland)

- ### Zones
- R1 - Residential 1 Zone
 - R2 - Residential 2 Zone
 - R3 - Residential 3 Zone
 - R4 - Residential 4 Zone
 - R5 - Residential 5 Zone
 - R6 - Residential 6 Zone
 - R6A
 - Campus Zone
 - Airport Zone
 - Stadium Zone
 - CA - Central Activity Zone
 - LSR - Large Scale Retail Zone
 - LA1 - Local Activity Zone 1
 - LA2 - Local Activity Zone 2
 - In1 - Industrial 1 Zone
 - In2 or SD - Industrial 2 or Special Development Zone
 - Port 1 Zone
 - Port 2 Zone
 - RR - Rural Residential Zone
 - Rural Zone
 - H - Harbourside

D843

Most detail not shown at scales smaller than 1:25,000
 Optimal scale range is 1:2000 - 1:5000
 This Planning Map is indicative.

The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.



Operative District Plan Map

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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
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CODE COMPLIANCE CERTIFICATE

DCCBCA F4 07-v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2014-1963	Telephone No:	03 477 4000
APPLICANT		PROJECT	
<p>Cranbrook Properties Limited C/O Terramark Limited PO Box 235 Mosgiel 9053</p>		<p>Work Type: New Construction</p> <p>Intended Use/Description of Work: Subdivision Drainage</p> <p>Intended Life: Indefinite, not less than 50 years.</p>	
PROJECT LOCATION		<p>This CCC also applies to the following Amended Consents: N/A</p>	
12A Hagart-Alexander Drive Mosgiel			
LEGAL DESCRIPTION			
<p>Legal Description: LOT 406 DP 474202 Valuation Roll No: 28020-09957 Building Name: N/A</p>			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:



BUILDING CONSENT

DCCBCA-F4-05-v3.0

Consent No:	ABA-2014-1963	Telephone No:	03 477 4000
APPLICANT		PROJECT	
Cranbrook Properties Limited C/O Terramark Limited PO Box 235 Mosgiel 9053		Work Type: New Construction Intended Use/Description of Work: Subdivision Drainage Intended Life: Indefinite, not less than 50 years.	
PROJECT LOCATION		Number of Units: 0 Number of Levels: 0 Estimated Value: \$670000	
12A Hagart-Alexander Drive Mosgiel			
LEGAL DESCRIPTION			
Legal Description: LOT 406 A 2014-20 Valuation Roll No: 28020-09957 Building Name: N/A			

This building consent is issued under Section 51 of the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

A Compliance Schedule is not required as a result of the building work associated with this building consent.

Signed for and on behalf of the Council:

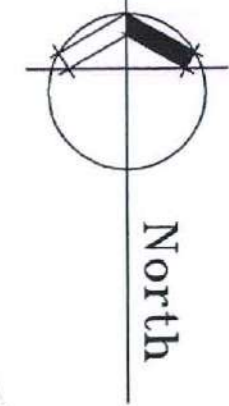
Name: 

Position: AUTHORISED OFFICER

Date: 8 December 2014

2015/1963

Cranbrook Properties Limited Highland Park Stage Eight Asbuilt Drawings

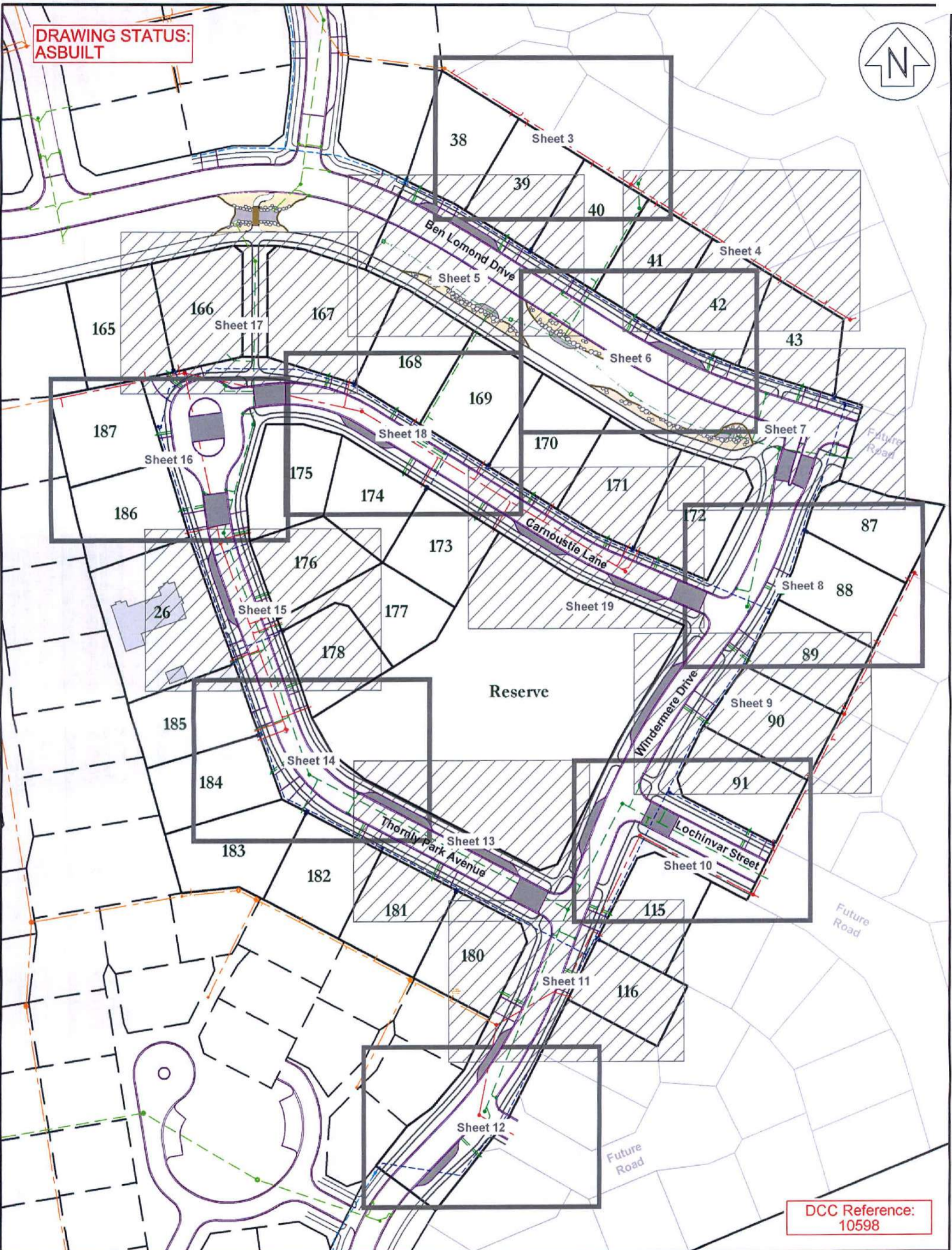


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1597/118	4	Asbuilt Services Layout - Sheet B
1597/118	5	Asbuilt Services Layout - Sheet C
1597/118	6	Asbuilt Services Layout - Sheet D
1597/118	7	Asbuilt Services Layout - Sheet E
1597/118	8	Asbuilt Services Layout - Sheet F
1597/118	9	Asbuilt Services Layout - Sheet G
1597/118	10	Asbuilt Services Layout - Sheet H
1597/118	11	Asbuilt Services Layout - Sheet I
1597/118	12	Asbuilt Services Layout - Sheet J
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1597/118	20	Asbuilt Foul Sewer Longsection - Sheet A
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1597/118	29	Asbuilt Foul Sewer Component Details
1597/118	30	Asbuilt Stormwater Component Details
1597/118	31	Asbuilt Water Component Details



**DRAWING STATUS:
ASBUILT**



**DCC Reference:
10598**

terramark
setting new boundaries
Surveying, Resource Management & Engineering
Dunedin 03-4774783 Mosgiel 03-4897107 Balclutha 03-4180470

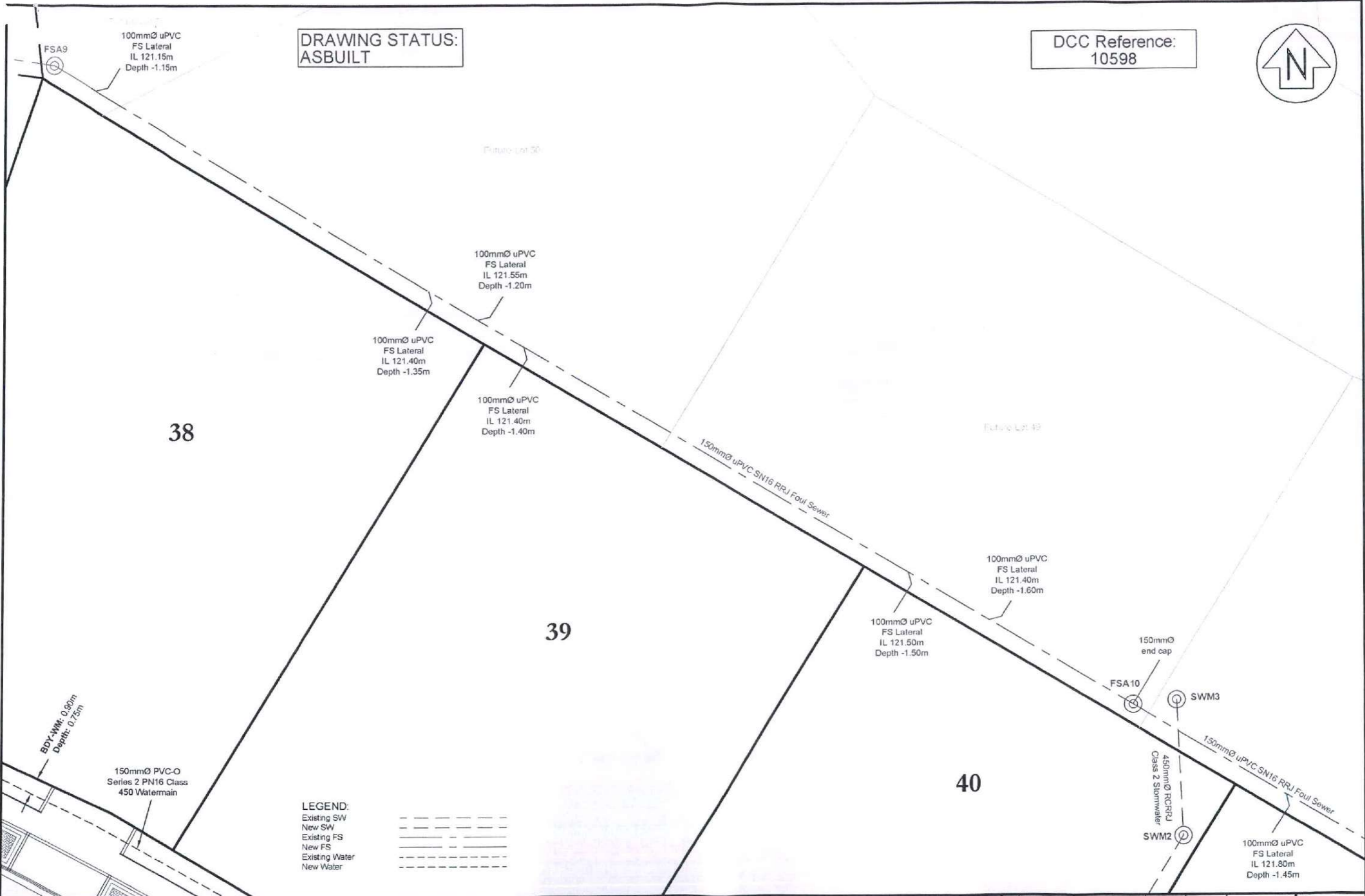
**Highland Park - Stage Eight
Sheet Layouts**

No.	AMENDMENTS	Initials	Date	ORIG. SCALE	JOB No.
				1:1100 @ A3	1597
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				DATUM Otago Metric	Version: 1
				LB.	Sheet 2 of 31

SURVEY	SKC	DRAWN	SKC	Date
LEVEL		TRACED		10-14
DESIGN	SKC	CHECKED		

DRAWING STATUS:
ASBUILT

DCC Reference:
10598

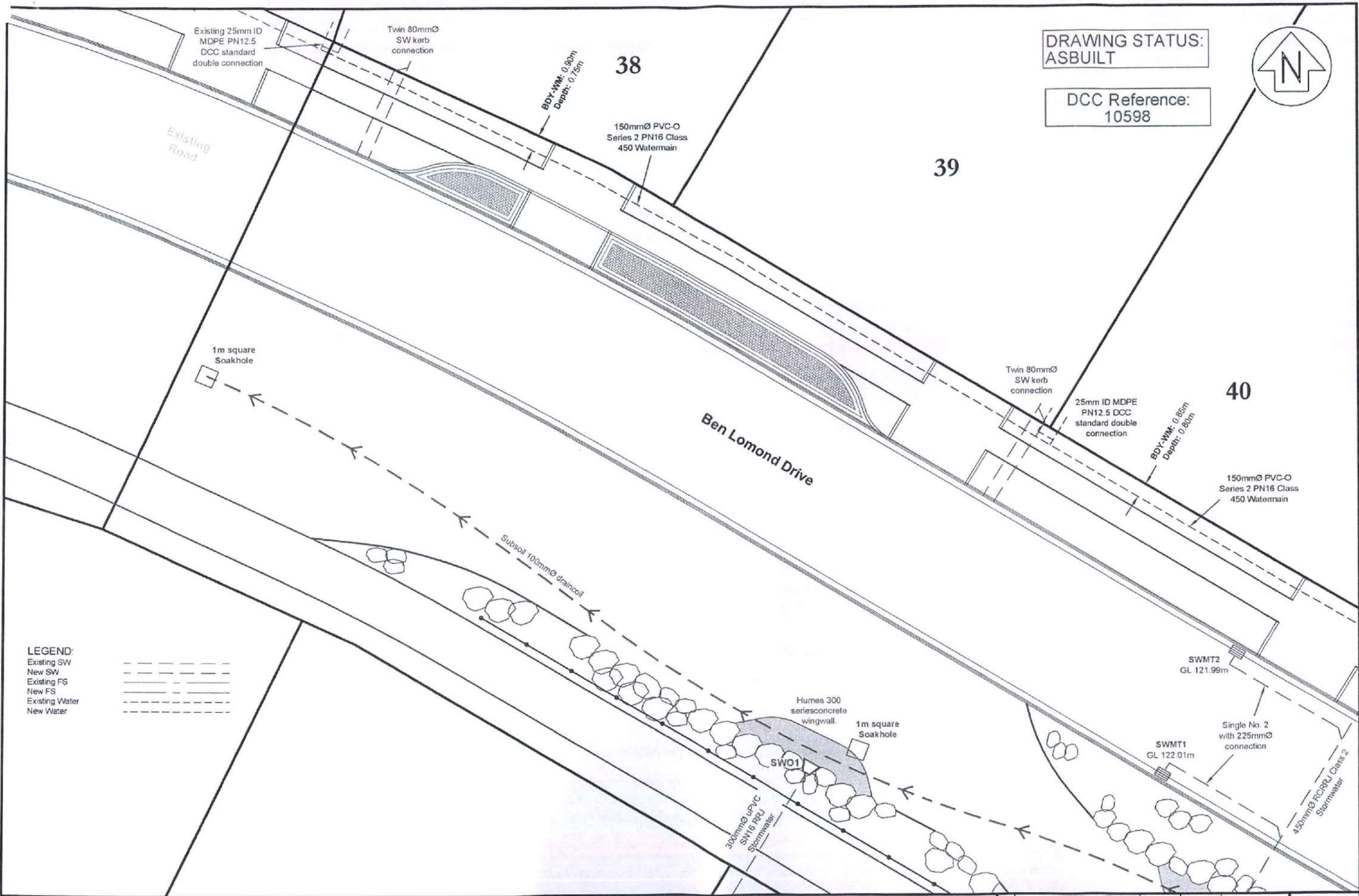


LEGEND:
 Existing SW
 New SW
 Existing FS
 New FS
 Existing Water
 New Water

terramark
setting new boundaries
 Surveying, Resource Management & Engineering
 Dunedin 03-4774783 Mosgiel 03-4897107 Balclutha 03-4180470

Highland Park - Stage Eight
Asbuilt Services Layout - Sheet A

No.	AMENDMENTS	Initials	Date	ORIG. SCALE	JOB No.
				1:200 @ A3	1597
				DATUM	PLAN No.
				Otago Metric	1597/118
				L.B.	Version: 1
					Sheet 3 of 31



DRAWING STATUS:
ASBUILT

DCC Reference:
10598



LEGEND:

Existing SW	---
New SW	---
Existing FS	---
New FS	---
Existing Water	---
New Water	---

terramark
setting new boundaries

Surveying, Resource Management & Engineering
Dunedin 03-4774783 Moqiel 03-4897107 Balclutha 03-4180470

Highland Park - Stage Eight
Asbuilt Services Layout - Sheet C

No.	AMENDMENTS	Initials	Date	ORIG. SCALE	JOB No.
				1:200 @ A3	1597
				DATUM	PLAN No.
				Otago Metric	1597/118
				L.B.	Version: 1
					Sheet 5 of 31



**DUNEDIN CITY
COUNCIL**

Kaunihera-a-rohe o Otepoti

50 The Octagon, PO Box 5045, Moray Place
Dunedin 9058, New Zealand
Telephone: 03 477 4000, Fax: 03 474 3488
Email: dcc@dcc.govt.nz
www.dunedin.govt.nz

CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07-v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2016-777	Telephone No:	03 477 4000
APPLICANT		PROJECT	
R W Copland and A J Neylon 11 Ben Lomond Drive Mosgiel 9024		Work Type: New Construction Intended Use/Description of Work: Erect Dwelling with Attached Garage, Install Yunca Monte Euro Heater Intended Life: Indefinite, not less than 50 years.	
PROJECT LOCATION		This CCC also applies to the following Amended Consents: N/A	
11 Ben Lomond Drive Mosgiel			
LEGAL DESCRIPTION			
Legal Description: LOT 38 DP 482487 Valuation Roll No: 28020-10003 Building Name: N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:

Team Leader Inspections

Date: 11 May 2017

BUILDING CONSENT

DCCBCA-F4-05-v3.0

Consent No:	ABA-2016-777	Telephone No:	03 477 4000
APPLICANT		PROJECT	
R W Copland and A J Neylon 66 Chain Hills Road RD 1 Dunedin 9076		Work Type: New Construction Intended Use/Description of Work: Erect Dwelling with Attached Garage, Install Yunca Monte Euro Heater Intended Life: Indefinite, not less than 50 years.	
PROJECT LOCATION		Number of Units: 1	
11 Ben Lomond Drive Mosgiel		Number of Levels: 1	
LEGAL DESCRIPTION		Estimated Value: \$295000	
Legal Description: LOT 38 DP 482487 Valuation Roll No: 28020-10003 Building Name: N/A			

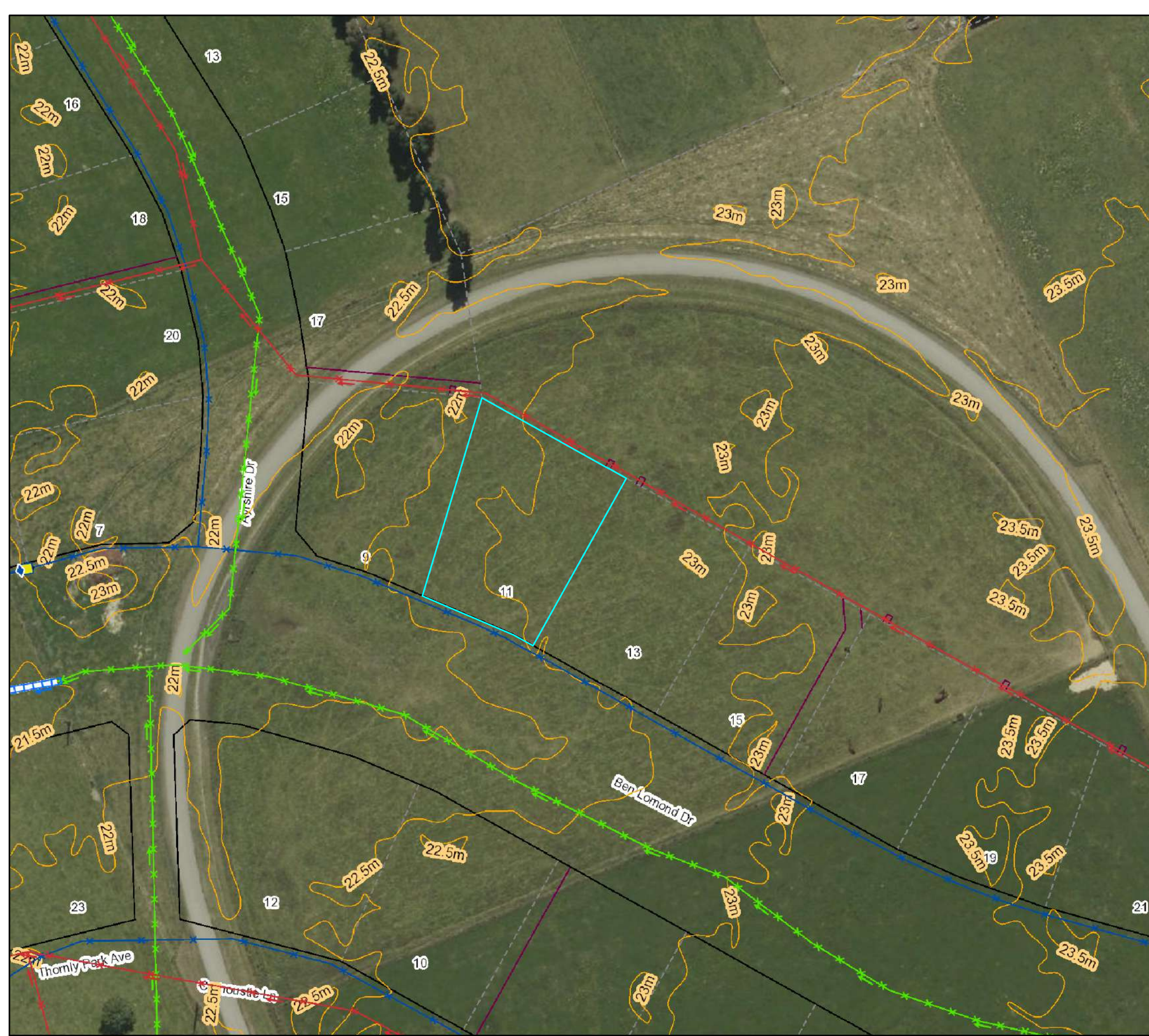
This building consent is issued under Section 51 of the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:

Name: 

Position: AUTHORISED OFFICER

Date: 5 July 2016



Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Rider
	Water Valve - Sluice		Scour
	Water Hydrant		Water Service Lateral
	Water Backflow Preventor - RPZ		Water Fire Service Lateral
			Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel
	Railway Centreline		Road/Rail
			Hydro
			Motorway Parcels
			Strata
			Easment (where recorded)

Full legend can be viewed at <http://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of this information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A3:
1:694
04/05/2016 02:56:34 PM

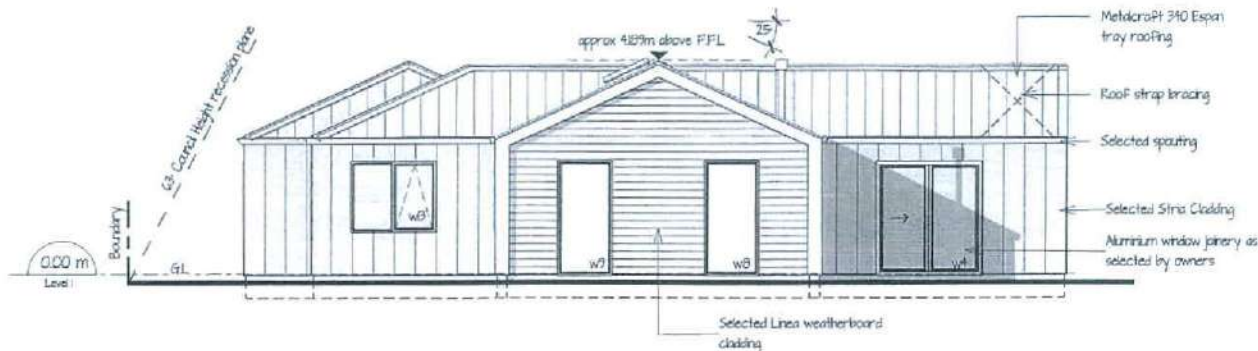


PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES. This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2013 Urban and rural photography January / February 2013. Dunedin City Council CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.



Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent



Proposed North Elevation
1:100



Proposed West Elevation
1:100

Block wall
 1 the owner wish to
 remove the block wall from
 the consent.
 R. Corans
 R. CORANS
 1/5/17
 For Consent

NOTE:
 1. It is the responsibility of the contractor to ensure that the building does not breach the relevant height plane angle, maximum height, boundary set backs or any other conditions attached to permitted activities in the applicable district plan, as indicated on the documents. If unsure please engage a Registered Surveyor to verify that the building complies with all suitable clauses in the applicable district plan and as detailed on the documents.
 2. Existing ground levels and Foundation lines shown are indicative only and should not be used for pricing. Confirm on site before construction.

JOB TITLE
**Proposed New Showhome
 for David Reid Homes**
 38 Ben Lomond Drive
 Mosgiel Dunedin

SHEET TITLE
Proposed Elevations

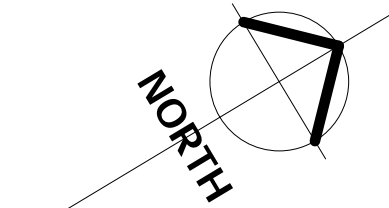
TRADE Architectural		DESIGNED DRH	CHECKED R.J.W
DATE April 16	SCALE 1:100	JOB NO. 1530	SHEET NO. A3.0
DRAWN TW	CAD REVISIONS 1530	REVISION B	

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



DUNEDIN CITY COUNCIL
Plans and Specifications approved in accordance with the NZ Building Code. To be retained on works and produced on request.

Date: 30/06/2016 Building: vbennett
Date: 30/06/2016 Plumbing: vbennett



Legal Description
11 Ben Lomond Drive Mosgiel
DUNEDIN
LOT 38

Site Coverage
Site Area = 887m²
Proposed site coverage = 179m² = 20.18%

Zoning
Wind = high
Snow = Less than 1 Kpa
Corrosion = Zone B
Earthquake = Zone 1
Altitude = 14m
Wind region = A
Zone = R1

Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent
C	29.06.16	FFL clarified

The site has not been tested by Warnock Architecture Ltd and it is assumed the min ground pressure capacity is 100kPa. If unsure allow to engage an engineer to inspect soil bearing before construction. If bearing is not to NZS 3604, 312 Foundations and 313 Determination of good ground, allow to contact structural engineer for further detailing.

Final position of residence to be confirmed on site.

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings.

Run new Ø25mm water supply from water toby box to residence. Confirm location on site before construction.

Confirm location of power supply and telephone supply run in common trench 500mm underground to residence.

It is the responsibility of the contractor to ensure that the building does not breach the relevant height, boundary setbacks or any other conditions attached to permitted activities in the applicable district plan, as indicated on the documents.

If boundaries are not clearly defined and contractor is unsure of relevant height restrictions provide a certificate prepared by a registered surveyor that the set-out is complete and that the building is accurately placed on the site and that the building complies with all suitable clause's in applicable district plan and as detailed on the documents.

During construction provide a certificate, prepared by the same registered surveyor confirming the set-out of the foundations and grid lines.

While it remains the contractor's responsibility to set out the works accurately and correctly and to confirm any changes from the approved location with the territorial authority, obtain the owner's written confirmation that they have sighted the proposed building location, site datum and profiles, before commencing any further work.

Confirm and finalise slab FFL with Drainlayer and Surveyor to ensure a 160 min. fall is achieved to foul connection

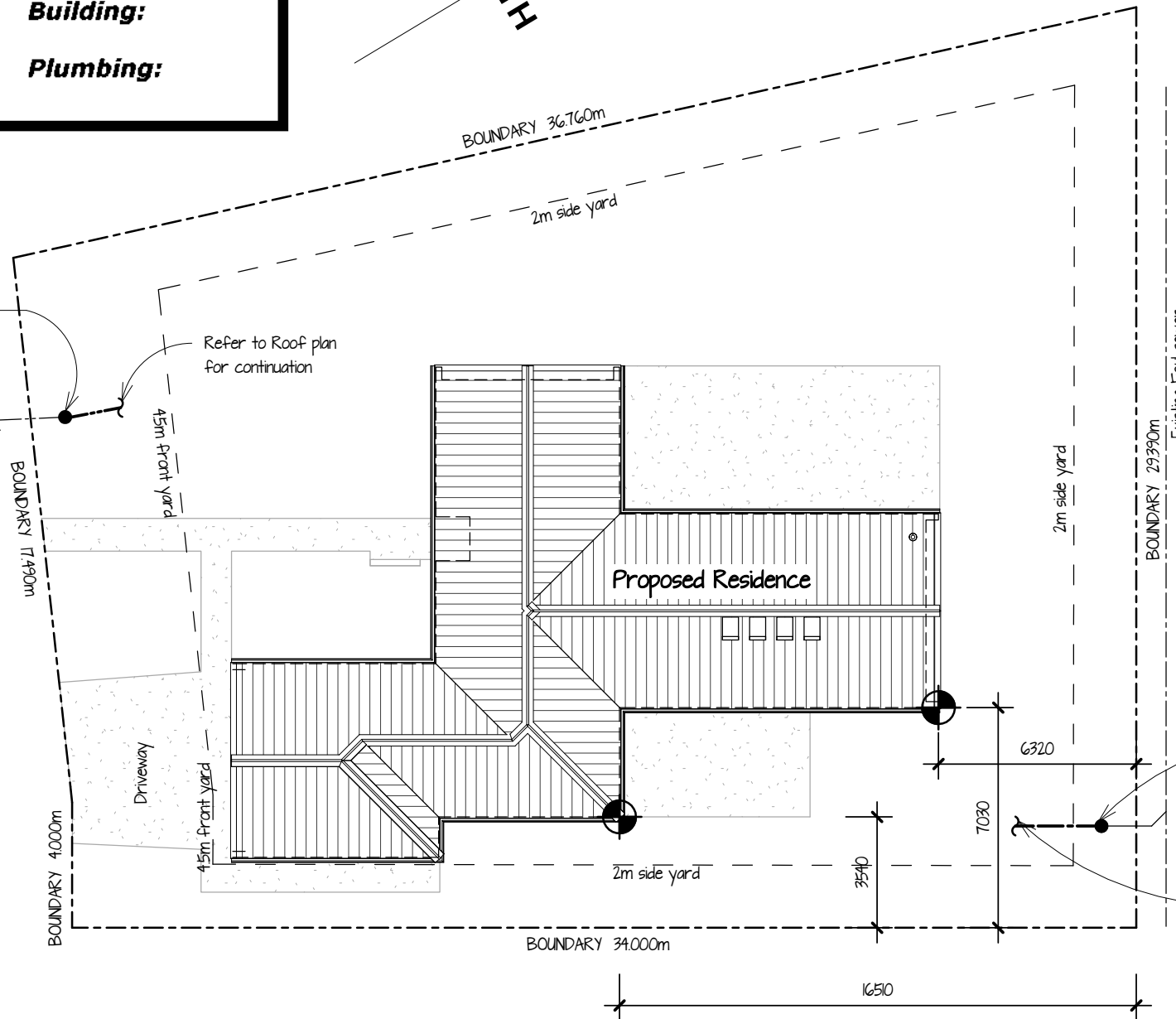
new Stormwater drain to connect to existing Stormwater drain lateral to council approval. Confirm location & invert level before construction & excavation

Refer to Roof plan for continuation

Existing Stormwater drain

Ben Lomond Drive

Note: Ensure FFL is 200mm min above crown of road.



new foul drain to connect to existing foul drain lateral to council approval. Confirm location & invert level before construction & excavation

Refer to Drainage plan for continuation

Proposed Site Plan
1:200

DCC CITY PLANNING
THESE PLANS ARE APPROVED
This development is permitted under the District Plan

Signed: dsycamore
Date: 01/07/2016

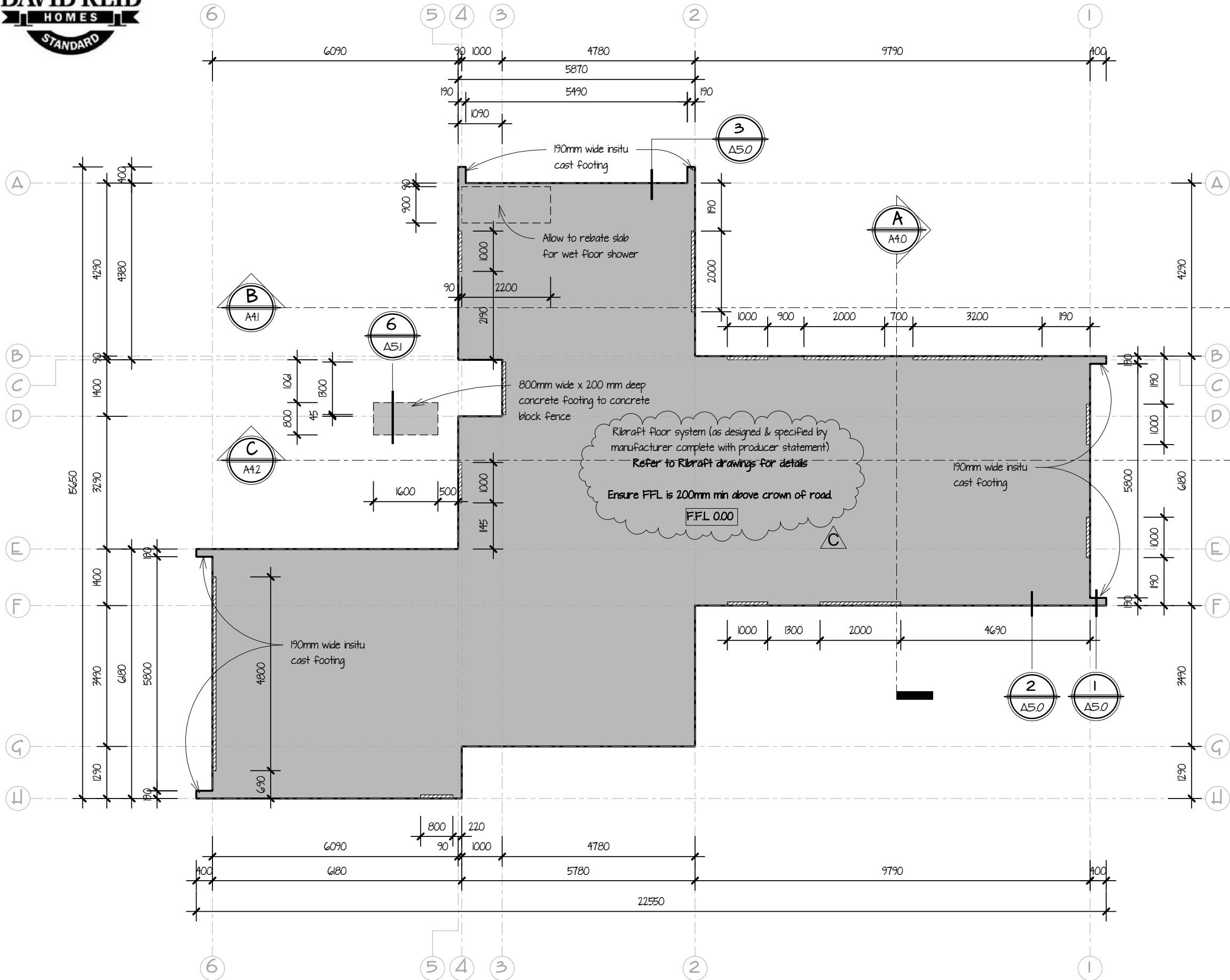
The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

For Consent

JOB TITLE
Proposed New Showhome for David Reid Homes
11 Ben Lomond Drive
Mosgiel Dunedin

SHEET TITLE
Proposed Site Plan

TRADE Architectural	DESIGNED DRH	CHECKED RJW
DATE April 16	SCALE 1 : 200	JOB No. 1530
DRAWN TW	CAD REFERENCE 1530	REVISION C
SHEET No. A1.0		



Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent
C	29.06.16	FFL clarified

- NOTE:**
- The site has not been tested by Warnock Architecture Ltd and it is assumed the min ground pressure capacity is 100kPa. If unsure allow to engage an engineer to inspect soil bearing before construction. If bearing is not to NZS 3604, 312 Foundations and 313 Determination of good ground allow to contact structural engineer for further detailing.
 - Contractor to confirm positions of all loadbearing walls with truss manufacturer before construction.
 - The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings.
 - Min. external cover to reinforcement:
 - (a) Against ground 75mm;
 - (b) Against formwork 50mm;
 - (c) Top cover to mesh 30mm.
 - All timber to be SG 8 unless specified otherwise.
 - Drainage to AS/NZS 3500.
 - Allow to rebate slab for aluminium joinery sills. Confirm rebate size with aluminium joinery fabricator before construction.
 - Confirm invert level of foul drain BEFORE slab construction.
 - Confirm and finalise slab F.F.L. with Drainlayer and Surveyor to ensure a 160 min. fall is achieved to foul connection.
 - Granular fill over 600mm in depth shall be tested at 1 metre maximum depth intervals by a certified laboratory and a PSA provided by chartered engineer.

LEGEND:

	Slab rebates for aluminium joinery/garage door
--	--

JOB TITLE
Proposed New Showhome for David Reid Homes
11 Ben Lomond Drive
Mosgiel Dunedin

SHEET TITLE
Proposed Foundation Plan

TRADE Architectural	DESIGNED DRH	CHECKED RJW
------------------------	-----------------	----------------

DATE April 16	SCALE 1 : 100	JOB No. 1530	SHEET No. A2.0
DRAWN TW	CAD REFERENCE 1530	REVISION C	

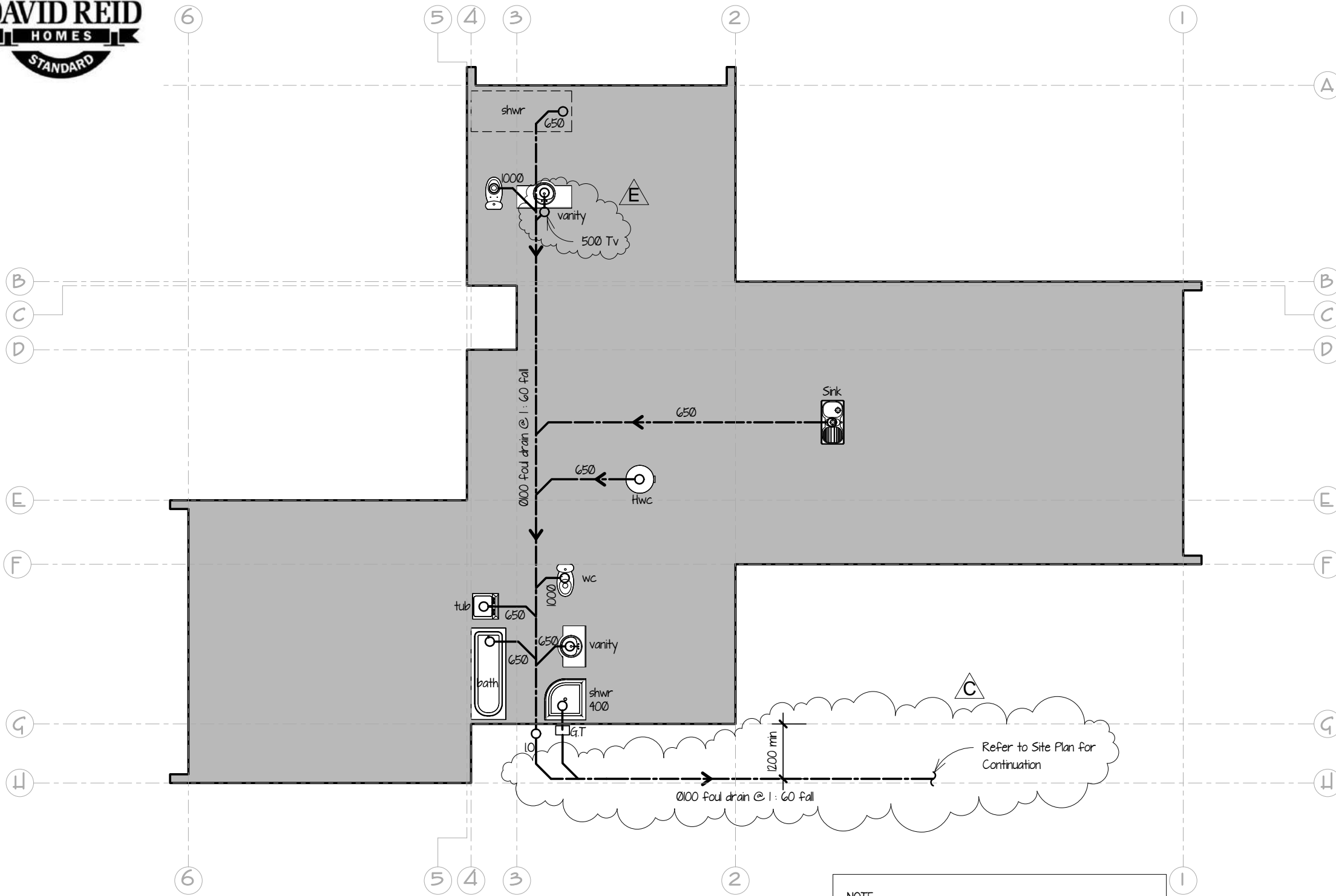
Proposed Foundation Plan
1:100

For Consent

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



200 mm
100 mm
50 mm



Proposed Drainage Plan
1:100

- NOTE:**
- Contractor to confirm positions of all loadbearing walls with truss manufacturer before construction
 - The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings.
 - Confirm invert level of foul drain BEFORE slab construction.
 - Drainage to AS/NZS 3500
 - Bench tops and fittings to be proprietary fittings purchased from reputable suppliers

Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent
C	23.06.16	Drainage revised
D	29.06.16	TV relocated
E	30.06.16	TV relocated

FIXTURE DISCHARGE UNITS (FDU's)		
LOCATION	FITTING	FDU's
Kitchen	Sink	3
	Dishwasher	3
Laundry	Tub	5
Bathroom	WC	-
	Shower	-
	Vanity	-
	bath	-
	combined in one compartment	6
Ensuite	WC	-
	Shower	-
	Vanity	-
	combined in one compartment	6
TOTAL		23

Waste pipe & trap diameters
 Basins Ø32mm
 Sink Ø40mm
 Shower Ø40mm
 Bath Ø40mm
 Tub Ø40mm
 Toilet Ø100mm
 All pipework to be uPVC to AS/NZS 1260

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

For Consent

JOB TITLE
Proposed New Showhome for David Reid Homes
11 Ben Lomond Drive
Mosgiel Dunedin

SHEET TITLE
Proposed Drainage Plan

TRADE Architectural	DESIGNED DRH	CHECKED RJW
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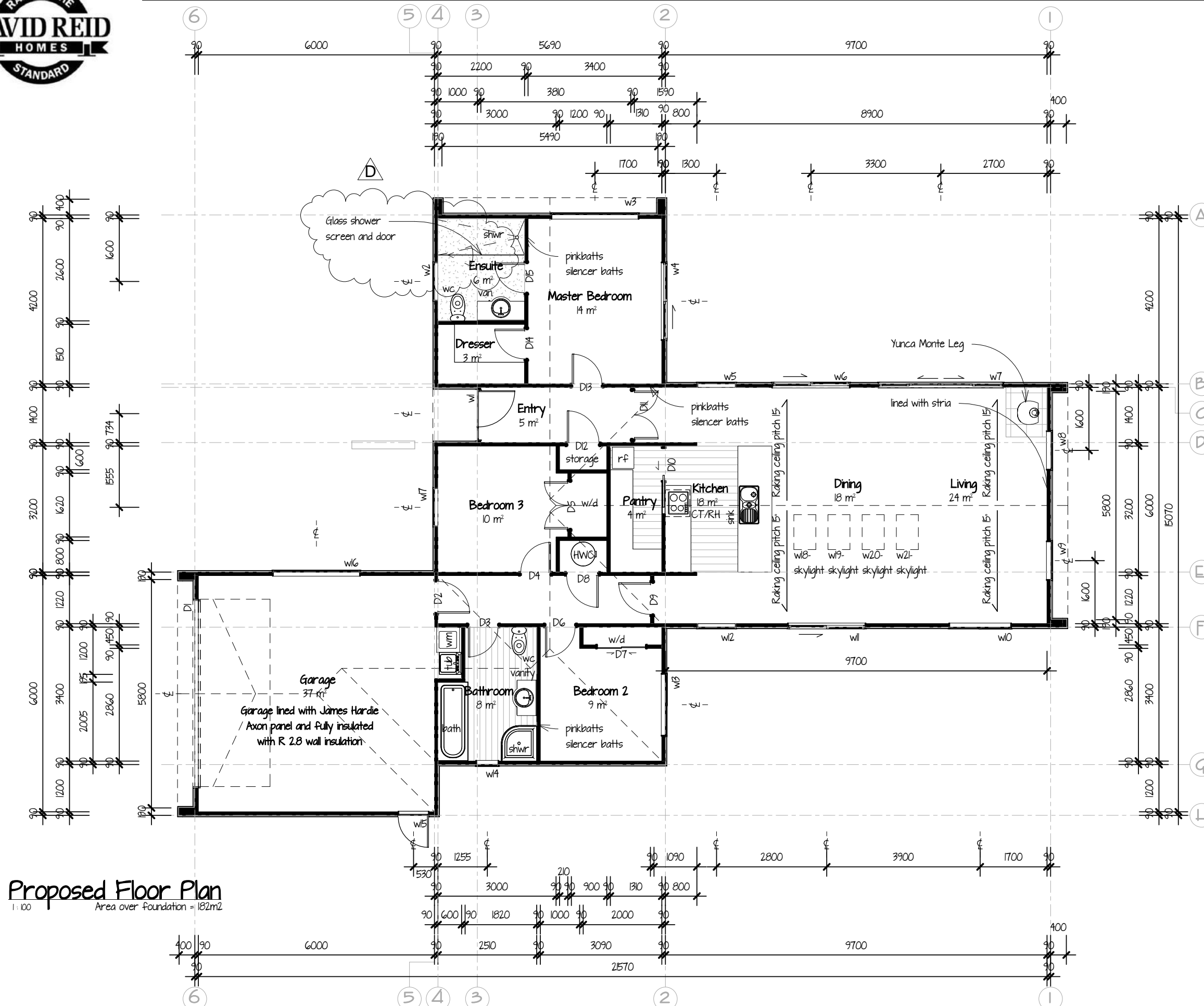
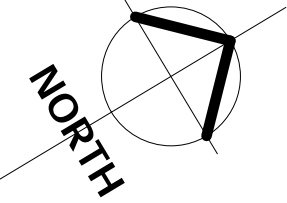
DATE April 16	SCALE 1:100	JOB No. 1530	SHEET No. A2.1
DRAWN TW	CAD REFERENCE 1530	REVISION E	



Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent
C	23.06.16	Fire Revised
D	29.06.16	Note added

- = Selected '1 Coat' flooring
- = Selected Vinyl flooring

- NOTE:**
- Confirm all lintel sizes and load bearing wall positions with truss manufacturer before construction.
 - All timber to be SG 8 unless specified otherwise.
 - Hard surfaced landscaping to entry finished 150mm max from finished floor level. Surface to have a slip resistance have a mean coefficient of friction, of not less than 0.4
 - Proprietary shower screens, formed to shape with 8mm TempaFloat, complete with matching hardware.
 - Provide a minimum illuminance of 20 lux at floor level to all access routes



Proposed Floor Plan
1:100 Area over foundation = 182m²

JOB TITLE
**Proposed New Showhome
for David Reid Homes**
**11 Ben Lomond Drive
Mosgiel Dunedin**

SHEET TITLE
Proposed Floor Plan

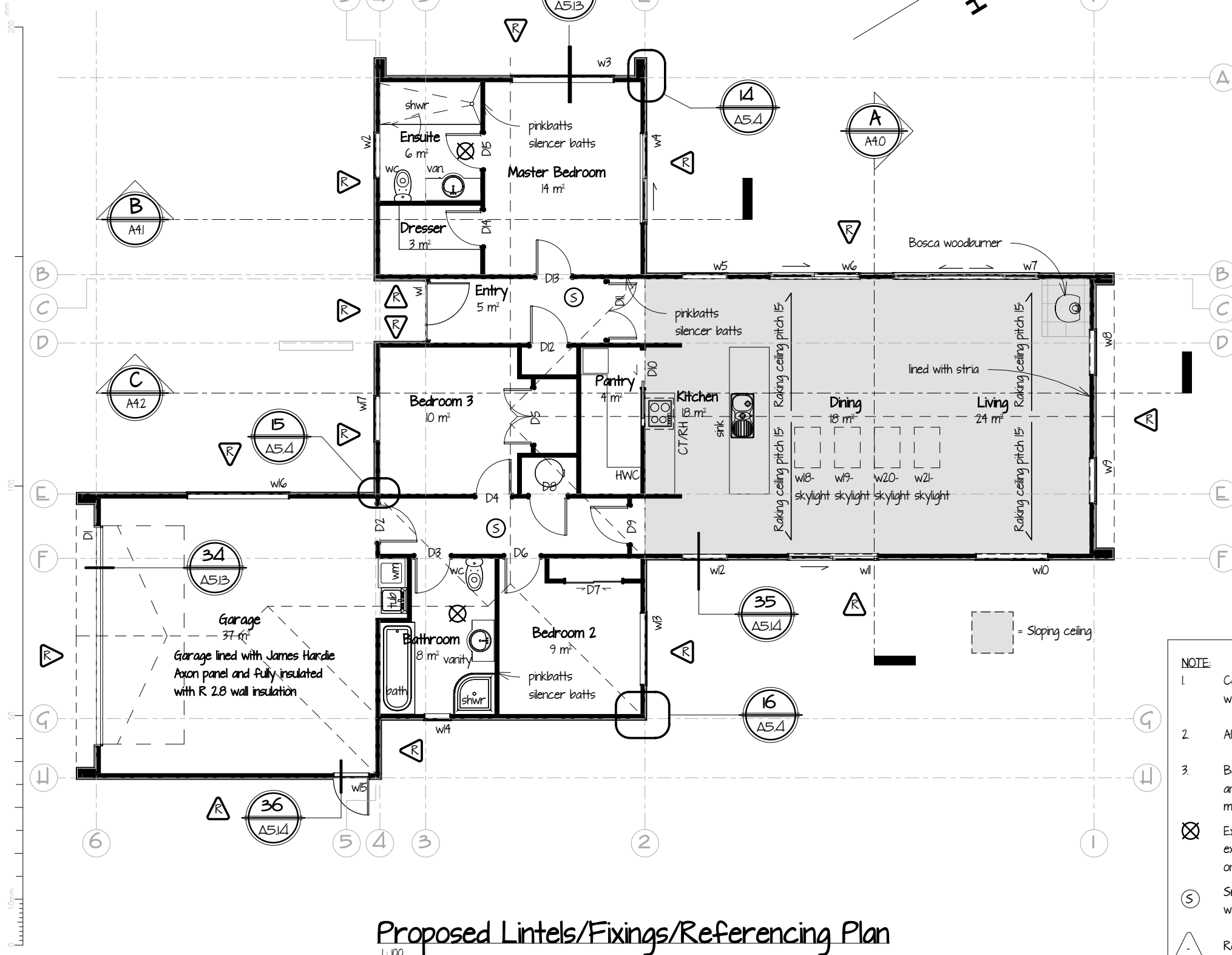
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DATE April 16	SCALE 1 : 100	JOB No. 1530
DRAWN TW	CAD REFERENCE 1530	REVISION D
		SHEET No. A2.2

For Consent

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent



Proposed Lintels/Fixings/Referencing Plan
1:100

TIMBER LINTEL TABLE					
Window No.	Span	Lintel Size	Sill Trimmer Size	Trimmer Stud Size	Fixing Type
w1	1300mm	2/90x45 SG8	-	90mm	F
w2	1000mm	2/90x45 SG8	-	90mm	F
w3	2250mm	2/140x45 SG8	90x45 SG8	90mm	F
w4	2000mm	2/140x45 SG8	-	90mm	F
w5	1000mm	2/90x45 SG8	-	90mm	F
w6	2000mm	2/190x45 SG8	-	90mm	F
w7	3200mm	240x90 Hy90	-	90mm	G
w8	1000mm	2/90x45 SG8	-	90mm	E
w9	1000mm	2/90x45 SG8	-	90mm	E
w10	1600mm	2/140x45 SG8	90x45 SG8	90mm	F
w11	2000mm	2/140x45 SG8	-	90mm	F
w12	1000mm	2/90x45 SG8	-	90mm	F
w13	1600mm	2/90x45 SG8	90x45 SG8	90mm	F
w14	600mm	2/90x45 SG8	90x45 SG8	90mm	E
w15	800mm	2/90x45 SG8	-	90mm	F
w16	2250mm	2/240x45 SG8	90x45 SG8	90mm	G
w17	1000mm	2/90x45 SG8	-	90mm	F
D1	4800mm	FB20M	-	90mm	H

For Lintel Fixing Type definition refer to Lintel Fixing Chart

NOTE:

1. Confirm all lintel sizes and load bearing wall positions with truss manufacturer before construction.
2. All timber to be SG 8 unless specified otherwise.
3. Bathroom & Ensuite to be painted with enamel paint and fitted with plaster box sealed light fittings to minimise moisture entering roof space.

⊗ Extractor fan activated off light switch 25 l/s min extract with run on timer - position representative only - position to be confirmed on site

Ⓢ Smoke detectors as per AS 3786, battery powered with hush facility of 60 sec min.

△ Refer to James Hardies RAB Board stud to top plate fixing detail
Note: Ensure roof framing connections connect to the same top plate as the RAB board top plate fixings

JOB TITLE
Proposed New Showhome for David Reid Homes
11 Ben Lomond Drive Mosgiel Dunedin

SHEET TITLE
Proposed Lintels/Fixings/Referencing Plan

TRADE Architectural	DESIGNED DRH	CHECKED RJW
------------------------	-----------------	----------------

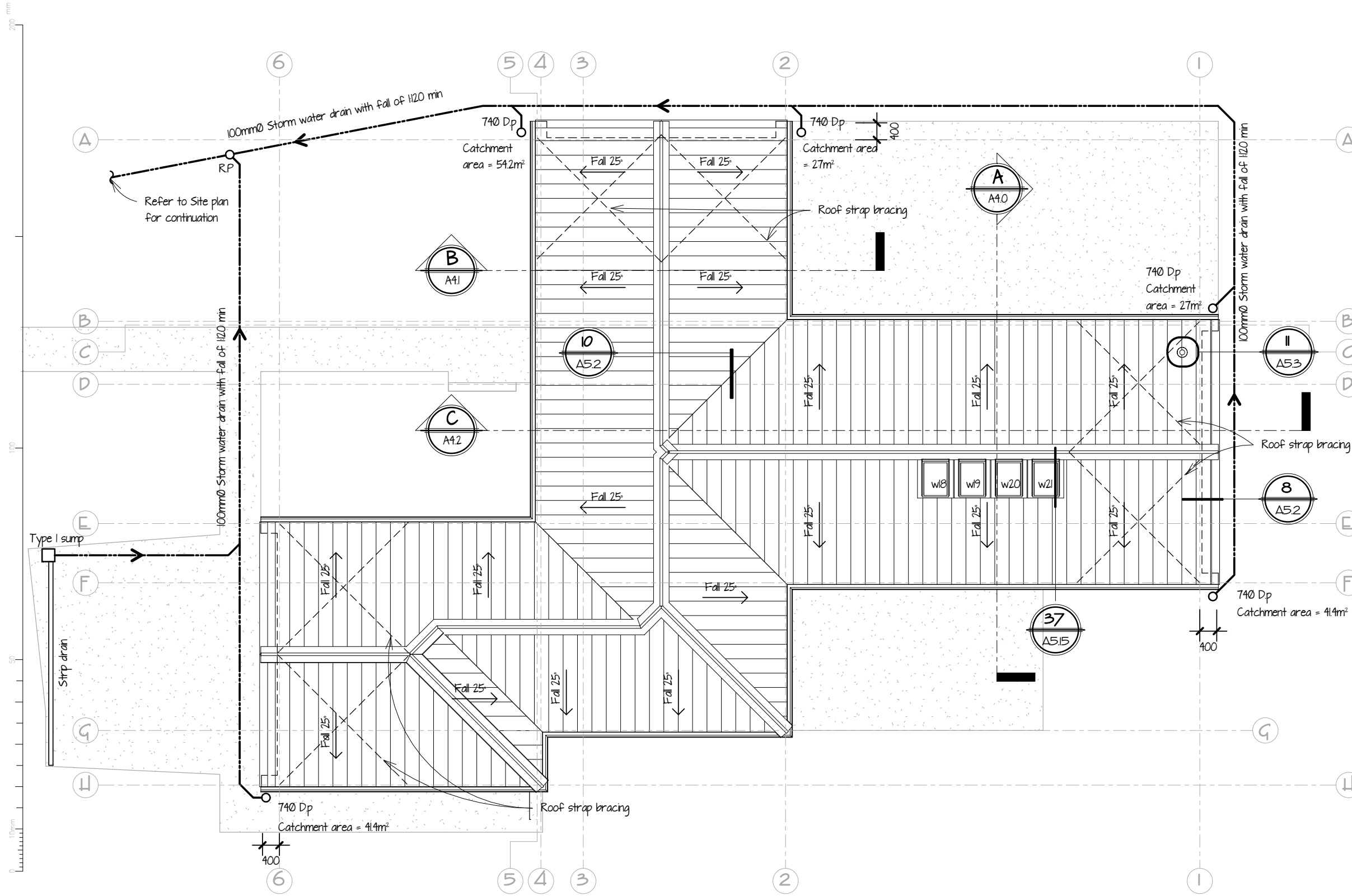
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DRAWN TW	CAD REFERENCE 1530	REVISION B	

For Consent

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent
C	29.06.16	Strip drain relocated in driveway



Proposed Roof Plan
1:100

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

For Consent

JOB TITLE
**Proposed New Showhome
 for David Reid Homes**
 11 Ben Lomond Drive
 Mosgiel Dunedin

SHEET TITLE
Proposed Roof Plan

TRADE Architectural	DESIGNED DRH	CHECKED RJW
------------------------	-----------------	----------------

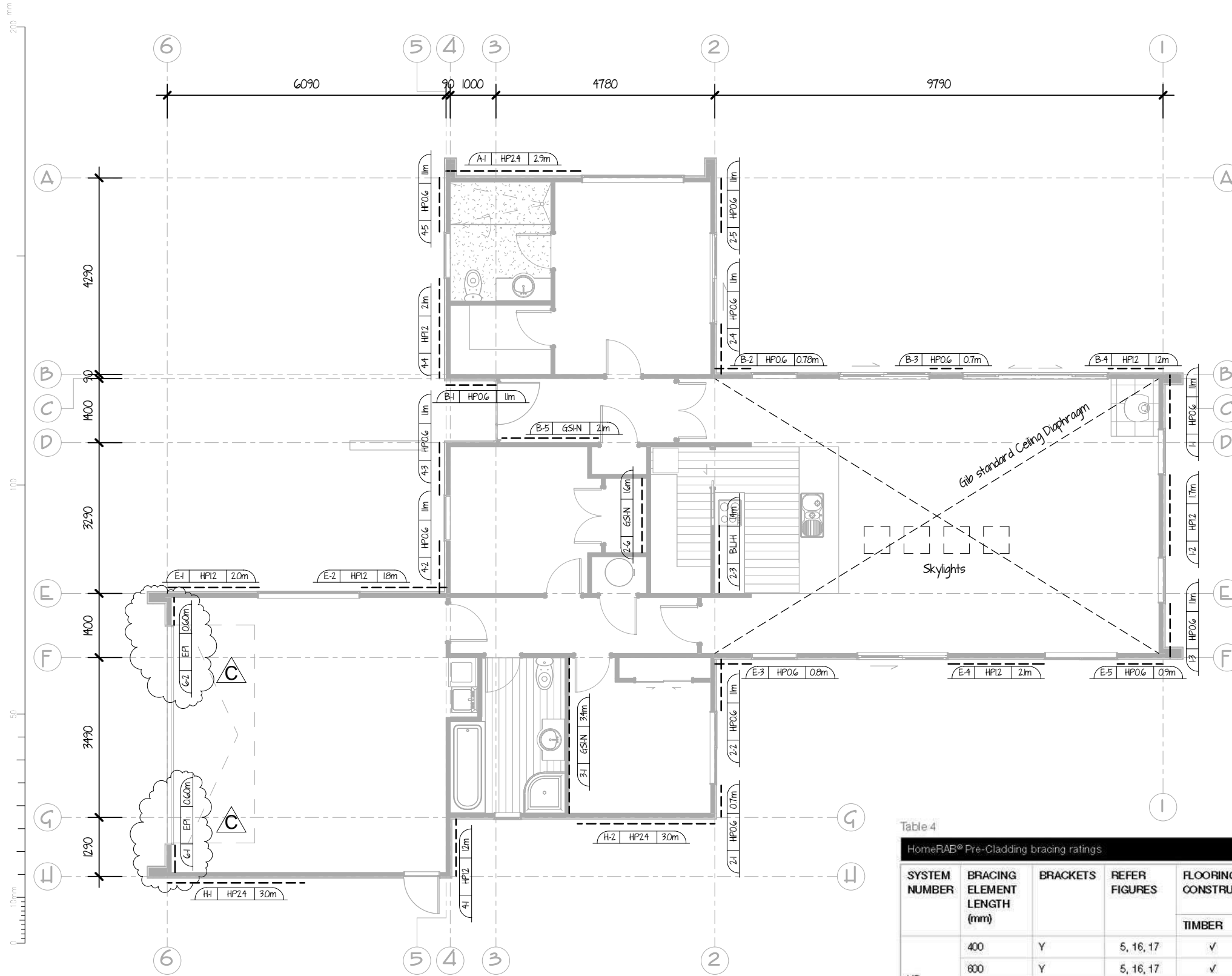
DATE April 16	SCALE 1:100	JOB No. 1530	SHEET No. A2.4
DRAWN TW	CAD REFERENCE 1530	REVISION C	

ORIGINAL SHEET SIZE A3 [420x297]

© COPYRIGHT



Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent
C	29.06.16	Bracing revised



Proposed Bracing Plan
1:100

BRACING LEGEND: Example:

Type	Minimum length (m)	Plasterboard		Fasteners		Additional requirements
		Side 1	Side 2	Side 1	Side 2	
BLH	0.4	10mm Gib BraceLine	N/A	32mm x 6g Gib Grabber high thread screws	N/A	Gib HandiBrac Hold down
HPOG	0.6	45mm HomeRAB	N/A	40x2.8 stainless steel or hot dip galvanised HardieFlex nail Fixing Centres as indicated	N/A	Panel hold-down fixings
HP12	1.2	45mm HomeRAB	N/A	40x2.8 stainless steel or hot dip galvanised HardieFlex nail Fixing Centres as indicated	N/A	Panel hold-down fixings
HP24	2.4	45mm HomeRAB	N/A	40x2.8 stainless steel or hot dip galvanised HardieFlex nail Fixing Centres as indicated	N/A	Panel hold-down fixings
GSI-N	0.4	10mm Gib Standard	N/A	32mm x 6g Gib Grabber high thread screws	N/A	N/A
EPI	0.6	One layer of 7 mm or 12 mm Ecoply® plywood	N/A	50 x 2.8 mm galvanised or stainless steel flat head nails for direct fix, or 60 x 2.8 mm over cavity battens	N/A	Gib HandiBrac Hold down

Table 4

HomeRAB® Pre-Cladding bracing ratings							
SYSTEM NUMBER	BRACING ELEMENT LENGTH (mm)	BRACKETS	REFER FIGURES	FLOORING CONSTRUCTION		NZS 3604 RATING IN BRACING UNITS PER METRE OF ELEMENT LENGTH	
				TIMBER	CONCRETE	WIND	EARTHQUAKE
HP	400	Y	5, 16, 17	✓	✓	85	91
	600	Y	5, 16, 17	✓	✓	99	103
	1200 to 2400	Y	6, 16, 17	✓	✓	133*	104
	2400 or more	Y	6, 16, 17	✓	✓	141*	67

*A limit of 120BU/m maximum applies to timber floors and 150BU/m maximum to concrete floors built as per NZS 3604: 2011 unless a specific engineering design is carried out to ensure the uplift force generated by bracing elements does not exceed the maximum limit for each floor type.

JOB TITLE
Proposed New Showhome for David Reid Homes
11 Ben Lomond Drive
Mosgiel Dunedin

SHEET TITLE
Proposed Bracing Plan

TRADE: Architectural
DESIGNED: DRH
CHECKED: RJW

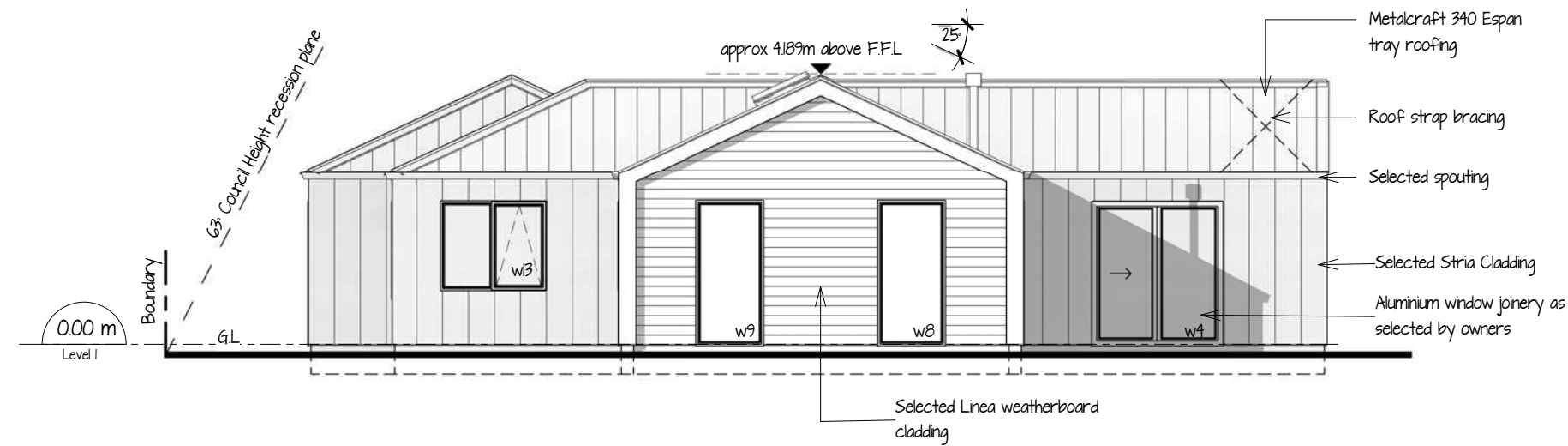
DATE: April 16
SCALE: 1:100
JOB No.: 1530
DRAWN: TW
CAD REFERENCE: 1530
REVISION: C
SHEET No.: **A2.5**

For Consent

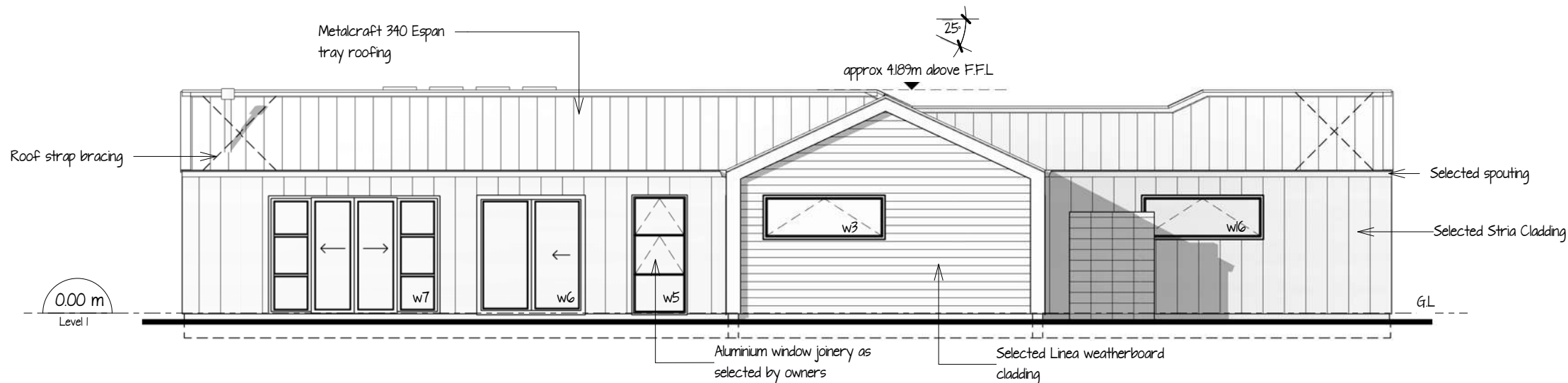
The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent



Proposed North Elevation
1:100



Proposed West Elevation
1:100

NOTE:

- It is the responsibility of the contractor to ensure that the building does not breach the relevant height plane angle, maximum height, boundary set backs or any other conditions attached to permitted activities in the applicable district plan, as indicated on the documents. If unsure please engage a Registered Surveyor to verify that the building complies with all suitable clause's in the applicable district plan and as detailed on the documents.
- Existing ground levels and foundation lines shown are indicative only and should not be used for pricing. Confirm on site **before** construction

JOB TITLE
**Proposed New Showhome
for David Reid Homes
11 Ben Lomond Drive
Mosgiel Dunedin**

SHEET TITLE
Proposed Elevations

TRADE Architectural	DESIGNED DRH	CHECKED RJW
DATE April 16	SCALE 1 : 100	JOB No. 1530
DRAWN TW	CAD REFERENCE 1530	REVISION B
		SHEET No. A3.0

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

For Consent



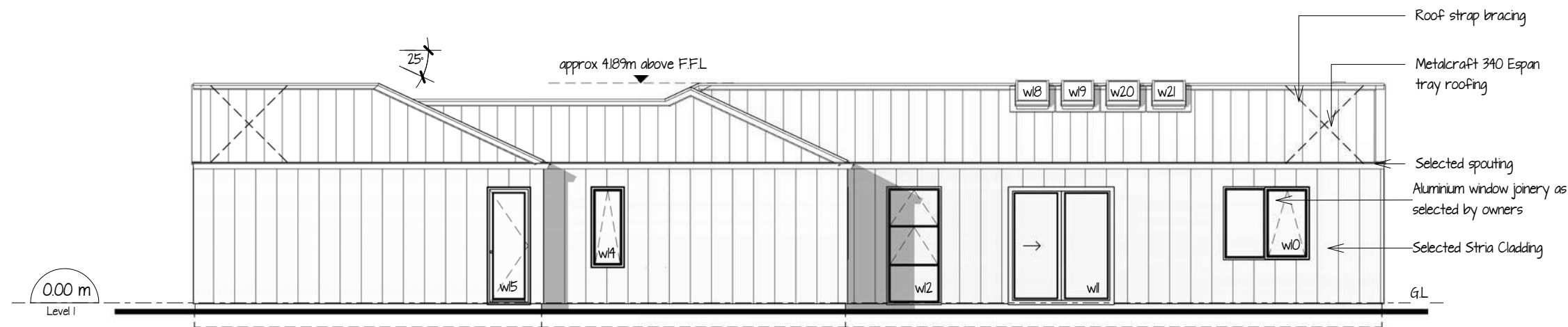
Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent



Proposed South Elevation
1:100

NOTE:

- It is the responsibility of the contractor to ensure that the building does not breach the relevant height plane angle, maximum height, boundary set backs or any other conditions attached to permitted activities in the applicable district plan, as indicated on the documents. If unsure please engage a Registered Surveyor to verify that the building complies with all suitable clause's in the applicable district plan and as detailed on the documents.
- Existing ground levels and foundation lines shown are indicative only and should not be used for pricing. Confirm on site **before** construction



Proposed East Elevation
1:100

JOB TITLE
**Proposed New Showhome
for David Reid Homes
11 Ben Lomond Drive
Mosgiel Dunedin**

SHEET TITLE
Proposed Elevations

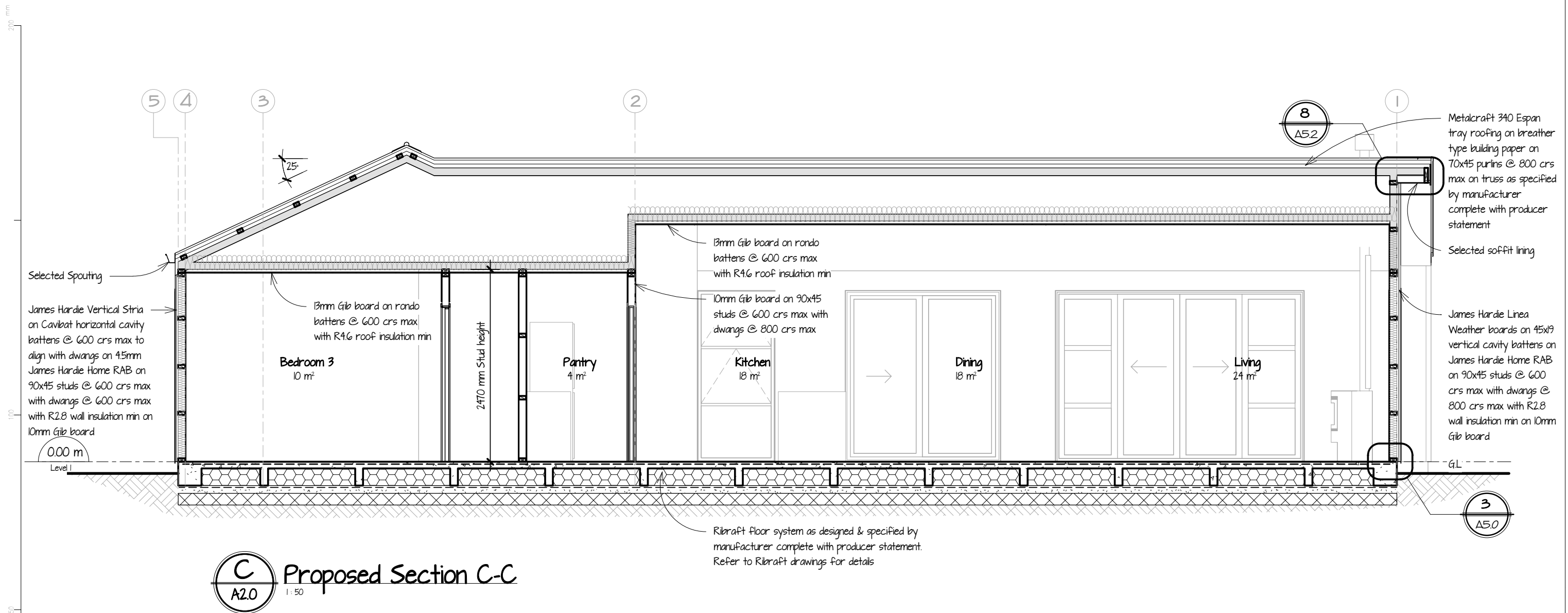
TRADE Architectural	DESIGNED DRH	CHECKED RJW
DATE April 16	SCALE 1 : 100	JOB No. 1530
DRAWN TW	CAD REFERENCE 1530	REVISION B
		SHEET No. A3.1

For Consent

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



Revision Schedule		
Ref.	Date	Description
A	02.02.16	For Pricing
B	27.04.16	For Consent



C
A2.0
Proposed Section C-C
1:50

- NOTE:**
- The site has not been tested by Warnock Architecture Ltd and it is assumed the min ground pressure capacity is 100kPa. If unsure allow to engage an engineer to inspect soil bearing before construction. If bearing is not to NZS 3604, 312 **Foundations** and 313 **Determination of good ground**, allow to contact structural engineer for further detailing.
 - Contractor to confirm positions of all loadbearing walls with truss manufacturer before construction.
 - The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings.
 - Min external cover to reinforcement
(a) Against ground 75mm;
(b) Against formwork 50mm;
(c) Top cover to mesh 30mm.
 - All timber to be SG 8 unless specified otherwise.
 - All Down lights to be CA rated.
 - Where stud spacings are greater than 450 mm, and flexible wall underlays only are used, an intermediate means of restraining the flexible wall underlay and insulation from bulging into the drained cavity shall be installed. Acceptable means of achieving this are by using:
a) 75 mm galvanized mesh or wire galvanized in accordance with AS/NZS 4534,
b) Polypropylene tape or galvanized wire at 300 mm centres fixed horizontally and drawn taut, or
c) Vertical cavity battens at 300 mm centres maximum.

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For Consent

JOB TITLE
**Proposed New Showhome
for David Reid Homes
11 Ben Lomond Drive
Mosgiel Dunedin**

SHEET TITLE
Proposed Section C-C

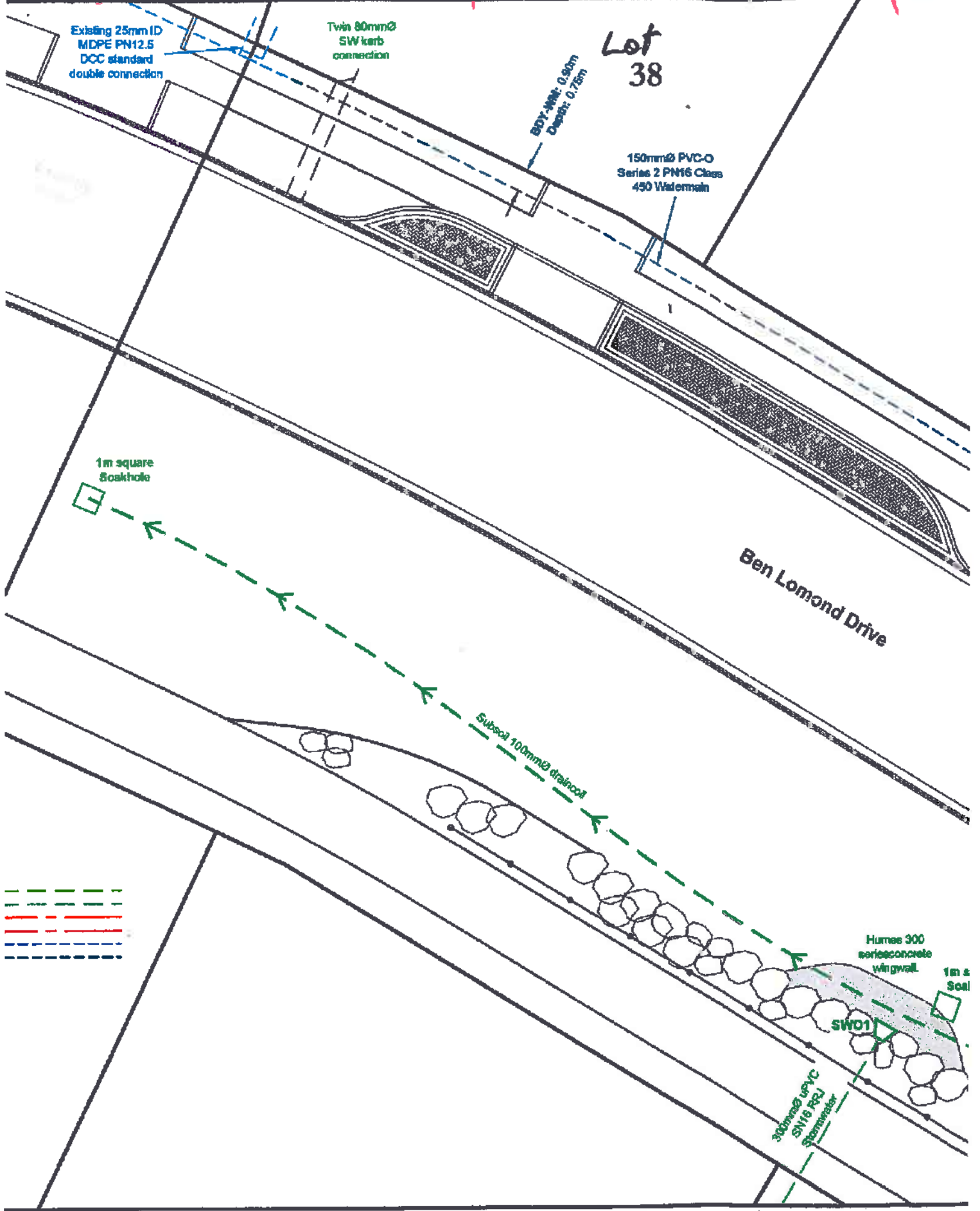
TRADE Architectural	DESIGNED DRH	CHECKED RJW
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DATE April 16	SCALE 1 : 50	JOB No. 1530	SHEET No. A4.2
DRAWN TW	CAD REFERENCE 1530	REVISION B	

ORIGINAL SHEET SIZE A3 [420x297]

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Copy of Subdivision S/W and Water Service plan.



Copy of Subdivision Foul drainage plan.

