

# Dunedin City Council Land Information Memorandum

98658

**Issued in accordance with Section 44A of the Local Government Official  
Information and Meetings Act 1987**

**Should you require further clarification of any of the information listed  
in this report, please phone our Customer Services Agency on  
03 477 4000.**

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **31 October 2024**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Records of Title as this report may not include information that is registered on the Records of Title. The Records of Title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

## PROPERTY ADDRESS

3 Heasley Lane Wingatui

**LIM Applicant  
Print Date**

Debbie Masina  
31-Oct-2024

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## PROPERTY DETAILS

**Property ID** 5120687  
**Address** 3 Heasley Lane Wingatui  
**Parcels** LOT 9 DP 473453

**Rubbish Day** Thursday

## RATES DETAILS

**Rate Account** 4026520

Address 3 Heasley Lane Wingatui

Valuation Number 27841-40817

**Latest Valuation Details**

Capital Value \$910,000  
Land Value \$345,000  
Value of Improvements \$565,000  
Area (Hectares) 0.0788HA  
Units of Use 1

**Current Rates**

Current Rating Year Starting 01-Jul-2024  
Dunedin City Council Rates \$4,402.07

**Rates Outstanding for Year** \$2,999.96

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## BUILDING, PLUMBING AND DRAINAGE

### **Minimum Floor Levels**

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

### **Public Sewer sheets.**

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

### **Dunedin City Council Private Drainage plans incomplete.**

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

### **Building and Drainage Information**

#### **Private Foul drains servicing adjoining properties.**

There are Private Foul drains servicing any adjoining properties, which pass through this land.

Drainage Plan for 5 Puddle Alley, indicates Private Foul Drain from 5 Puddle Alley passes through 3 Heasley Lane.

Drainage Plan, indicates Private Foul Drain from 321 Gladstone Road Nth, passes through 3 Heasley Lane.

#### **Private Stormwater drains servicing adjoining properties**

There is Private Storm Water drains servicing adjoining properties, which pass through this land.

Drainage Plan for 5 Puddle Alley, indicates Private Stormwater Drain from 5 Puddle Alley passes through 3 Heasley Lane.

Drainage Plan, indicates Private Stormwater Drain from 321 Gladstone Road Nth, passes through 3 Heasley Lane.

#### **Council Foul Sewers within land.**

There is Council Foul Sewers within this land. A plan of these is attached.

#### **Private Stormwater Drains servicing existing buildings**

There are Private Stormwater drains servicing existing buildings on this land.

Drainage Plan indicates Private Stormwater Drain connects to Water Tank in Section.

#### **Council Stormwater & Foul Sewer Connections available.**

There is Council Stormwater outfalls and Foul Sewer Connections adjacent to this land, to which buildings within this land may connect. A plan of these is attached.

### Private Foul Drains servicing existing buildings

There are Private Foul drains servicing existing buildings on this land.

Drainage Plan indicate Private Foul Drain Connects to Council Foul Sewer in Section.

### Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent
	/CCC	-	was reviewed for code compliance after two years. Compliance with
	Refused	-	the Building Code could not be established and therefore the Code
		-	Compliance Certificate has been refused.
	Lapsed	-	Work has not commenced and no extension of time applied for within
		-	12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

#### [ABA-2014-857/A](#) Building Consent - Amendment - Install Bosca Firepoint 360

Woodburner

Lodgement Date	26-Jan-2015
Decision	Granted
Decision Date	28-Jan-2015
Current Status	<b>CCC Issued</b>
Previous Number	
<i>(Applications before 2007)</i>	

#### [ABA-2014-857](#) Building Consent - Erect Dwelling with Attached Garage(Proposed Lot 9)

Lodgement Date	16-May-2014
Decision	Granted
Decision Date	27-Jun-2014
Current Status	<b>CCC Issued</b>
Previous Number	
<i>(Applications before 2007)</i>	

#### [ABA-2013-1548](#) Building Consent - Sub Division Drainage, Foul and Stormwater

Lodgement Date	09-Aug-2013
Decision	Granted
Decision Date	15-Aug-2013
Current Status	<b>CCC Issued</b>
Previous Number	
<i>(Applications before 2007)</i>	

### Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

There are no Building or Drainage Permits recorded for this property. In some instances permits may have been recorded as building consents, please also check the consent section of the LIM.

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.



## HAZARDS

### SITE HAZARDS

#### **Alluvial Fans - Active - Floodwater**

The property is located within an area with active floodwater alluvial fans. Active fans are those on which flooding, deposition and/or erosion are possible within the next 500 years. This information has been sourced from **Opus International Consultants (2009): Otago alluvial fans project regional review**. Further information, including a copy of the report is available from <https://www.orc.govt.nz/media/2968/otago-alluvials-project-regional-review-executive-summary.pdf>  
<https://www.orc.govt.nz/media/2969/otago-alluvials-project-regional-review-council-committee-report.pdf>

This property has been identified as being affected by active faults & folds GNS April 2021 seismic - fault proximity - Titri, Haz Id 12094.

**The Otago Regional Council has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.**

**These reports are publicly available and can be accessed here:**  
<https://www.orc.govt.nz/plans-policies-reports/reports-and-publications/natural-hazards>

**These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report. We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.**

#### **Otago Regional Council - Natural Hazards Database**

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

### HAZARDOUS SUBSTANCES

#### **WARNING – Change in legislation and management of hazardous substances**

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

### **Contaminated Site, Hazardous Substances and Dangerous Goods Information**

No information

## **ENVIRONMENTAL HEALTH**

No records were found of Environmental Health involvement with this property.

## **LICENSING**

### **Health Licensing**

There are no records of any Health Licences for this property.

### **Liquor Licensing**

There are no records of any Liquor Licences for this property.

## **CITY PLANNING**

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

### **Accuracy of Boundaries**

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

### **Access to Site**

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

### **Heritage New Zealand Pouhere Taonga Act 2014**

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed.

Contact the Dunedin office of Heritage New Zealand for further information:  
[infodeepsouth@heritage.org.nz](mailto:infodeepsouth@heritage.org.nz) ; 03 477 9871.

**Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011**

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at [www.mfe.govt.nz](http://www.mfe.govt.nz).) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

**Consent Notices**

The record of title for this property has consent notices recorded against it:

- CONO 9867765.11
- CONO 9867765.10

Copies of these consent notices are attached to this LIM. The conditions in these consent notices must be complied with on an ongoing basis.

**District Plan Information**

Dunedin currently has two district plans, and as at 19<sup>th</sup> August 2024, the partially operative Dunedin City Second Generation District Plan ("The 2GP") almost completely superceded the 2006 version of the District Plan. The exceptions where the 2GP has not yet replaced the 2006 Plan relate to two specific provisions and several areas still subject to appeal.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan 2006, until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The schedule of original appeals on the 2GP can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

The 2GP is subject to change at any time. Variation 2 (Additional Housing Capacity) to the 2GP was notified on Wednesday 3 February 2021. The schedule of appeals on Variation 2 can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

You should check with the Council whether any changes have occurred since the date this LIM report was issued.

**The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued:** there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

## **OPERATIVE DISTRICT PLAN INFORMATION**

### **Zoning**

This property is zoned as follows in the District Plan.

*Zone*

RESIDENTIAL 1

### **Noise**

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA Lmax between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

*Noise Zone*

50Dt/35Nt dBA, 45SP dBA

### **Designation 274 - Dunedin International Airport Approach and Land Use Controls**

This property is within or partly within the designated take-off and approach fan for the Dunedin International Airport (Designation 274). Refer to Planning Map 72 for the land use controls that apply in relation to this designation.

*Form Air*

Approach Fan

### **Road Hierarchy**

The roads listed below adjoining this property are classified as either Collector, District Regional or National Roads in the District Plan Roding Hierarchy. All other roads adjoining this property but not listed here are classified as Local Roads. Refer to Section 20 of the District Plan for more information.

*Type*

COLLECTOR

Puddle Alley

## **SECOND GENERATION PLAN INFORMATION**

### **Zoning**

- General Residential 1 (refer Section 15, Residential)

**Scheduled Items**

- Dunedin Airport Flight Fan Designation

**Overlay Zones**

- Nil

**Mapped Areas**

- Road Classification Hierarchy (main roads within 30m of site)
  - Puddle Alley is a Collector road

**Resource Consents**

The following Resource Consents are recorded for this property.

[SUB-2012-14/3/A](#)

## Subdivision Consent

Description	Stage 3
Lodgement Date	10-Apr-2013
Decision	Staged Subdivision
Decision Date	10-Apr-2013
Current Status	<b>s224c Issued</b>

[SUB-2012-14](#)

## Subdivision Consent

Description	subdivision creating 15 lots
Lodgement Date	16-Feb-2012
Decision	Granted
Decision Date	15-Mar-2012
Current Status	<b>Consent Issued</b>

[SUB-2012-14/A](#)

## Subdivision Consent

Description	s127 to change consent to a staged subdivision
Lodgement Date	23-Jul-2012
Decision	s127 Upheld
Decision Date	15-Aug-2012
Current Status	<b>Consent Issued</b>

[SUB-2012-14/B](#)

## Subdivision Consent

Description	s127 change or cancellation of conditions to a staged subdivision
Lodgement Date	28-Mar-2013
Decision	s127 Upheld
Decision Date	10-Apr-2013
Current Status	<b>Consent Issued</b>

[RMA-1991-351168](#)

## Resource Management Act (Historical Data)

Description	Subdivision Boundary Adjustment - Scheme Plan 1159
Lodgement Date	04-Oct-1991
Decision	Granted
Decision Date	12-Dec-1991
Current Status	<b>Consent Issued</b>

[LUC-2013-66](#)

## Land Use Consent

Description	undertake earthworks
Lodgement Date	21-Feb-2013
Decision	Granted
Decision Date	12-Mar-2013
Current Status	<b>Completed</b>

<a href="#"><u>RMA-2004-367555</u></a>	Resource Management Act (Historical Data)
Description	SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS
Lodgement Date	26-Feb-2004
Decision	Granted
Decision Date	18-Mar-2004
Current Status	<b>Consent Issued</b>
Consent Stages	
Type	s223 Certificate
Issued Date	02 November 2004
Further Details	
Type	s224 Certificate
Issued Date	02 November 2004
Further Details	

**RESOURCE CONSENTS WITHIN 50 METRES OF 3 HEASLEY LANE WINGATUI**  
**689 R Gladstone Road Nth Mosgiel**

[RMA-1996-359995](#) Resource Management Act (Historical Data) ELECTION SIGNS (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 29/08/1996.

[RMA-1996-359930](#) Resource Management Act (Historical Data) ELECTION SIGNS (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 15/08/1996.

**5049178 12 Puddle Alley Wingatui**

[RMA-1993-351372](#) Resource Management Act (Historical Data) Right Of Way / App: P.M. Haddon PO Box 235 (Non-Notified - Non Complying). The outcome was Granted on 15/04/1993.

**5066713 13 Puddle Alley Wingatui**

[RMA-1991-353335](#) Resource Management Act (Historical Data) ER GARAGE/WORKSHOP Ownr:WATT / App: WATT (Non-Notified - Non Complying). The outcome was Granted on 04/11/1991.

[RMA-1990-350775](#) Resource Management Act (Historical Data) Subdivision / App: D. Johnston PO Box 3 (Non-Notified - Non Complying).

**5067690 321 Gladstone Road Nth Mosgiel**

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1992-355214](#) Resource Management Act (Historical Data) ESTABLISH HOSTEL Ownr:HAWKSBUURY TRUST / App: HAWKSBUURY TRUST 320 GEORGE ST DN (Notified - Non Complying). The outcome was Granted on 19/08/1992.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5118988 5 Puddle Alley Wingatui**

[LUC-2014-89](#) Land Use Consent addition to dwelling. The outcome was Granted on 29/04/2014.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent Stage 1. The outcome was Staged Subdivision on 15/03/2012.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[LUC-2012-67](#) Land Use Consent land use as a consequence of a 12 lot residential 1 subdivision. The outcome was Granted on 15/03/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

[RMA-1995-353004](#) Resource Management Act (Historical Data) DISPENSATION 1579 - SECOND HOUSEHOLD UNIT (Non-Notified - Non Complying). The outcome was Granted on 07/12/1990.

**[5119349](#) 7 Puddle Alley Wingatui**

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent Stage 2. The outcome was Staged Subdivision on 15/03/2012.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**[5119636](#) 1 Coronga Lane Wingatui**

[SUB-2011-123](#) Subdivision Consent Stage 2 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123](#) Subdivision Consent Stage 1 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123/A](#) Subdivision Consent s127 change or variation of conditions. The outcome was s127 Upheld on 10/04/2012.

[SUB-2011-123](#) Subdivision Consent subdivision creating 5 lots. The outcome was Granted on 30/11/2011.

[SUB-2008-85](#) Subdivision Consent 2-lot subdivision. The outcome was Granted on 03/07/2008.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**[5119637](#) 2 Coronga Lane Wingatui**

[SUB-2011-123](#) Subdivision Consent Stage 2 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123](#) Subdivision Consent Stage 1 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123/A](#) Subdivision Consent s127 change or variation of conditions. The outcome was s127 Upheld on 10/04/2012.

[SUB-2011-123](#) Subdivision Consent subdivision creating 5 lots. The outcome was Granted on 30/11/2011.

[SUB-2008-85](#) Subdivision Consent 2-lot subdivision. The outcome was Granted on 03/07/2008.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**[5119638](#) 3 Coronga Lane Wingatui**

[SUB-2011-123](#) Subdivision Consent Stage 2 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.



[SUB-2011-123](#) Subdivision Consent Stage 1 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123/A](#) Subdivision Consent s127 change or variation of conditions. The outcome was s127 Upheld on 10/04/2012.

[SUB-2011-123](#) Subdivision Consent subdivision creating 5 lots. The outcome was Granted on 30/11/2011.

[SUB-2008-85](#) Subdivision Consent 2-lot subdivision. The outcome was Granted on 03/07/2008.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5119639 4 Coronga Lane Wingatui**

[SUB-2011-123](#) Subdivision Consent Stage 2 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123](#) Subdivision Consent Stage 1 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123/A](#) Subdivision Consent s127 change or variation of conditions. The outcome was s127 Upheld on 10/04/2012.

[SUB-2011-123](#) Subdivision Consent subdivision creating 5 lots. The outcome was Granted on 30/11/2011.

[SUB-2008-85](#) Subdivision Consent 2-lot subdivision. The outcome was Granted on 03/07/2008.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5119640 5 Coronga Lane Wingatui**

[SUB-2011-123](#) Subdivision Consent Stage 2 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123](#) Subdivision Consent Stage 1 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123/A](#) Subdivision Consent s127 change or variation of conditions. The outcome was s127 Upheld on 10/04/2012.

[SUB-2011-123](#) Subdivision Consent subdivision creating 5 lots. The outcome was Granted on 30/11/2011.

[SUB-2008-85](#) Subdivision Consent 2-lot subdivision. The outcome was Granted on 03/07/2008.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5119641 6 Coronga Lane Wingatui**

[SUB-2011-123](#) Subdivision Consent Stage 2 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123](#) Subdivision Consent Stage 1 (note: Stages 1 and 2 actually completed together at same time). The outcome was Staged Subdivision on 30/11/2011.

[SUB-2011-123/A](#) Subdivision Consent s127 change or variation of conditions. The outcome was s127 Upheld on 10/04/2012.

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[SUB-2008-85](#) Subdivision Consent 2-lot subdivision. The outcome was Granted on 03/07/2008.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5120688 5 Heasley Lane Wingatui**

[SUB-2012-14/A](#) Subdivision Consent Stage 3. The outcome was Staged Subdivision on 10/04/2013.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.



[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5120689 7 Heasley Lane Wingatui**

[SUB-2012-14/A](#) Subdivision Consent Stage 3. The outcome was Staged Subdivision on 10/04/2013.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5120690 10 Heasley Lane Wingatui**

[SUB-2012-14/A](#) Subdivision Consent Stage 3. The outcome was Staged Subdivision on 10/04/2013.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5120691 8 Heasley Lane Wingatui**

[SUB-2012-14/A](#) Subdivision Consent Stage 3. The outcome was Staged Subdivision on 10/04/2013.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**[5120692](#) 6 Heasley Lane Wingatui**

[SUB-2012-14/A](#) Subdivision Consent Stage 3. The outcome was Staged Subdivision on 10/04/2013.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**[5120693](#) 4 Heasley Lane Wingatui**

[SUB-2012-14/A](#) Subdivision Consent Stage 3. The outcome was Staged Subdivision on 10/04/2013.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**[5121990](#) 305 Gladstone Road Nth Mosgiel**

[SUB-2012-14/A](#) Subdivision Consent Stage 4. The outcome was Staged Subdivision on 10/04/2013.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5121991 307 Gladstone Road Nth Mosgiel**

[BACT-2021-16](#) Boundary Activity Notice To extend an existing dwelling, breaching the height plane restriction. The outcome was Issued on 12/04/2021.

[LUC-2016-192](#) Land Use Consent land use consent to undertake earthworks. The outcome was Granted on 15/06/2016.

[LUC-2015-373](#) Land Use Consent land use consent to construct a new residential dwelling with a height plane breach. The outcome was Granted on 18/09/2015.

[SUB-2012-14/A](#) Subdivision Consent Stage 4. The outcome was Staged Subdivision on 10/04/2013.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5121992 309 Gladstone Road Nth Mosgiel**

[SUB-2012-14/A](#) Subdivision Consent Stage 4. The outcome was Staged Subdivision on 10/04/2013.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

[SUB-2012-14](#) Subdivision Consent subdivision creating 15 lots. The outcome was Granted on 15/03/2012.

[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

**5121993 311 Gladstone Road Nth Mosgiel**

[LUC-2015-557](#) Land Use Consent undertake earthworks and construct three retaining walls within the side yard and height plane angle. The outcome was Granted on 10/03/2016.

[SUB-2012-14/A](#) Subdivision Consent Stage 4. The outcome was Staged Subdivision on 10/04/2013.

[SUB-2012-14/B](#) Subdivision Consent s127 change or cancellation of conditions to a staged subdivision. The outcome was s127 Upheld on 10/04/2013.

[LUC-2013-66](#) Land Use Consent undertake earthworks. The outcome was Granted on 12/03/2013.

[SUB-2012-14/A](#) Subdivision Consent s127 to change consent to a staged subdivision. The outcome was s127 Upheld on 15/08/2012.

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[RMA-2004-367555](#) Resource Management Act (Historical Data) SUBDIVIDE 1.32 HA PROPERTY INTO 2 RESIDENTIAL LOTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/03/2004.

[RMA-1991-351168](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - Scheme Plan 1159 (Non-Notified - Non Complying). The outcome was Granted on 12/12/1991.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

## TRANSPORT

### **Transport is aware of the following information related to this property:**

Heasley Lane is not maintained by the Dunedin City Council (DCC) Transport department.

#### **Shared Vehicle Access:**

We note that the vehicle access to this property is via a shared driveway. Please consult with your Lawyer to find out if there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

As of the 24th April 2015, the Transport Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined for Transport information in relation to the property.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

## 3 WATERS

### WATER

#### **Urban water supply area – Connected**

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure), and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

#### **Terms and conditions of supply**

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at [www.dunedin.govt.nz/water-bylaw](http://www.dunedin.govt.nz/water-bylaw).

#### **Water pressure**

Indicative network water pressure to the property is shown on maps available at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure). Specific detail is available on request.

#### **Water reticulation maps**

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

### FOUL SEWER AND WASTE WATER

#### **Drainage Reticulation Plans**

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

#### **Restrictions near Council infrastructure**

There is Dunedin City Council water infrastructure located within the boundaries of this property, as shown on the attached reticulation plans.

Relevant deposited plans, certificates of title and memoranda of transfer at Land Information New Zealand ([www.linz.govt.nz](http://www.linz.govt.nz)) should be reviewed for information relating to any existing registered easements. However, as the Local Government Act 2002 (LGA) provides statutory rights for public infrastructure, easements are not always registered.

No building or structure shall be constructed within 2.5 metres of any Council-owned underground infrastructure, or as specified on any registered easement, without the written approval of the Council.

Infrastructure shall not be damaged or otherwise interfered with. Prior to commencing any works within the subject property, all Council-owned structures, mains and service pipes, and associated fittings are to be located on-site and, if necessary, protected.

The Council can enter the land to inspect, alter, renew, repair or clean its infrastructure under the LGA. For planned works, reasonable notice will be given.

Within new land subdivisions the Council requires an easement in gross over public water supply infrastructure. The easement in gross must be a minimum of 3 metres wide, centred on the as-built position, and made in accordance with the Dunedin Code of Subdivision and Development 2010: Section 6.3.10.3 (Water).

Planting near infrastructure should be avoided, particularly large trees or other species whose roots could cause damage.

#### **Information Regarding Watercourses**

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website [www.dunedin.govt.nz](http://www.dunedin.govt.nz)

## APPENDIX

### **Glossary of terms and abbreviations**

The following are abbreviations and terms that may appear as a part of a LIM.

#### **Consent, Permit, Licence & Complaint types**

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

#### **Terms used in Permits & Consents**

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

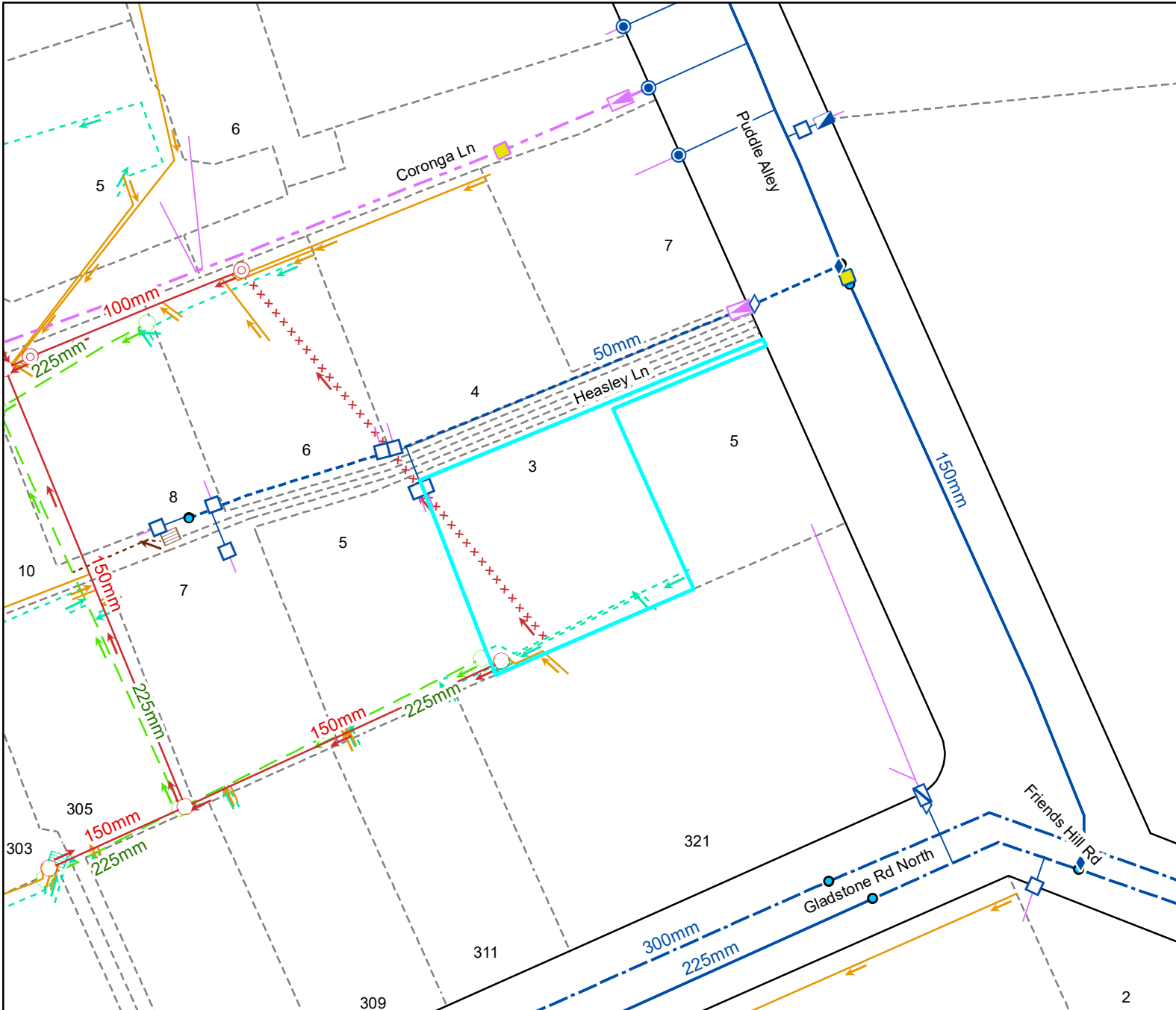
#### **General terms**

- RDMS Records and Document Management System









Legend

### Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Rider
	Water Valve - Sluice		Scour
	Water Hydrant		Water Service Lateral
	Water Backflow Preventor - RPZ		Water Fire Service Lateral
			Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

### Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

### Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

### General

	DCC Water & Waste Structure		Parcel		Road/Rail
	Railway Centreline		Hydro		Motorway Parcels
			Strata		Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

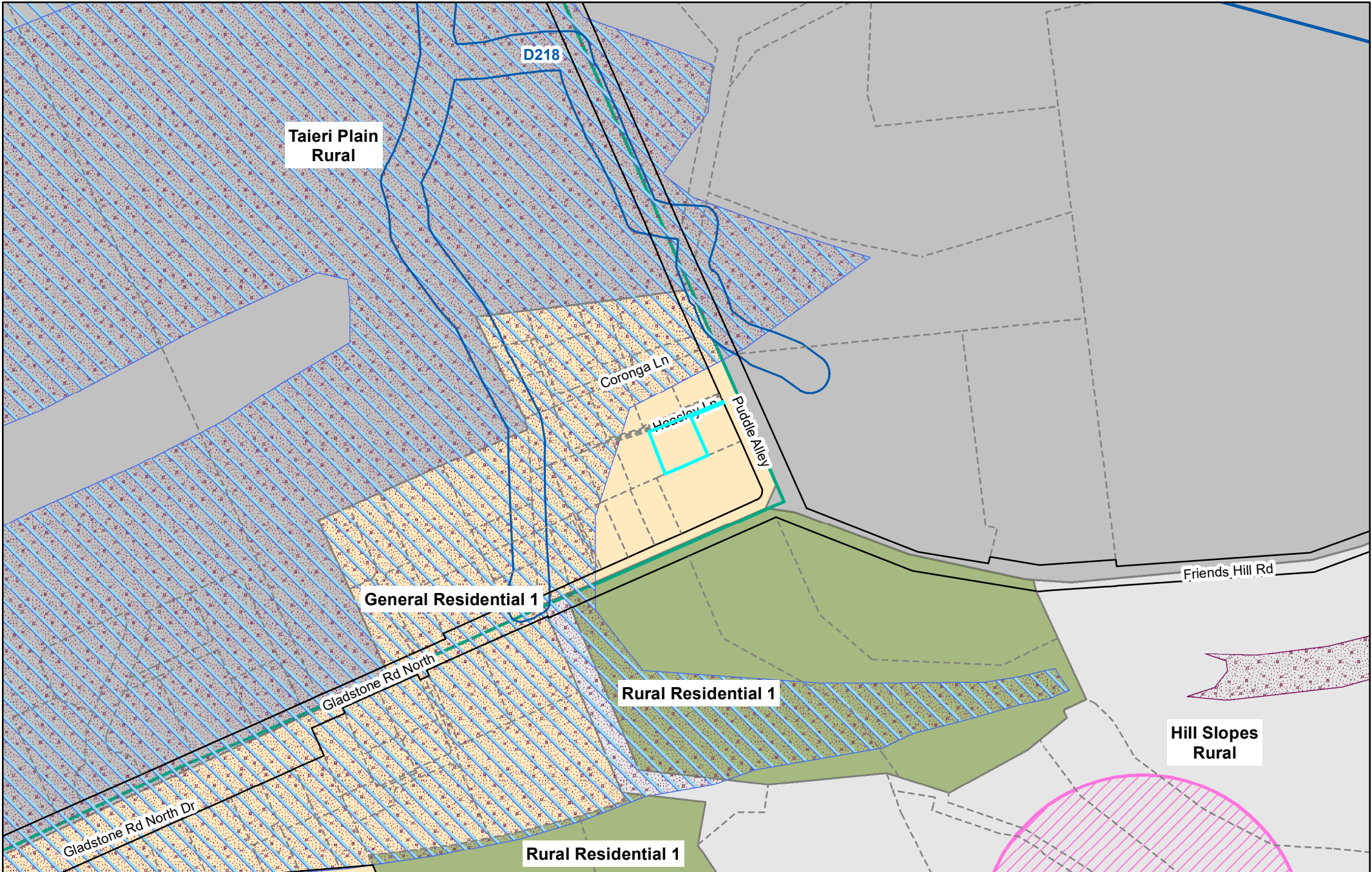
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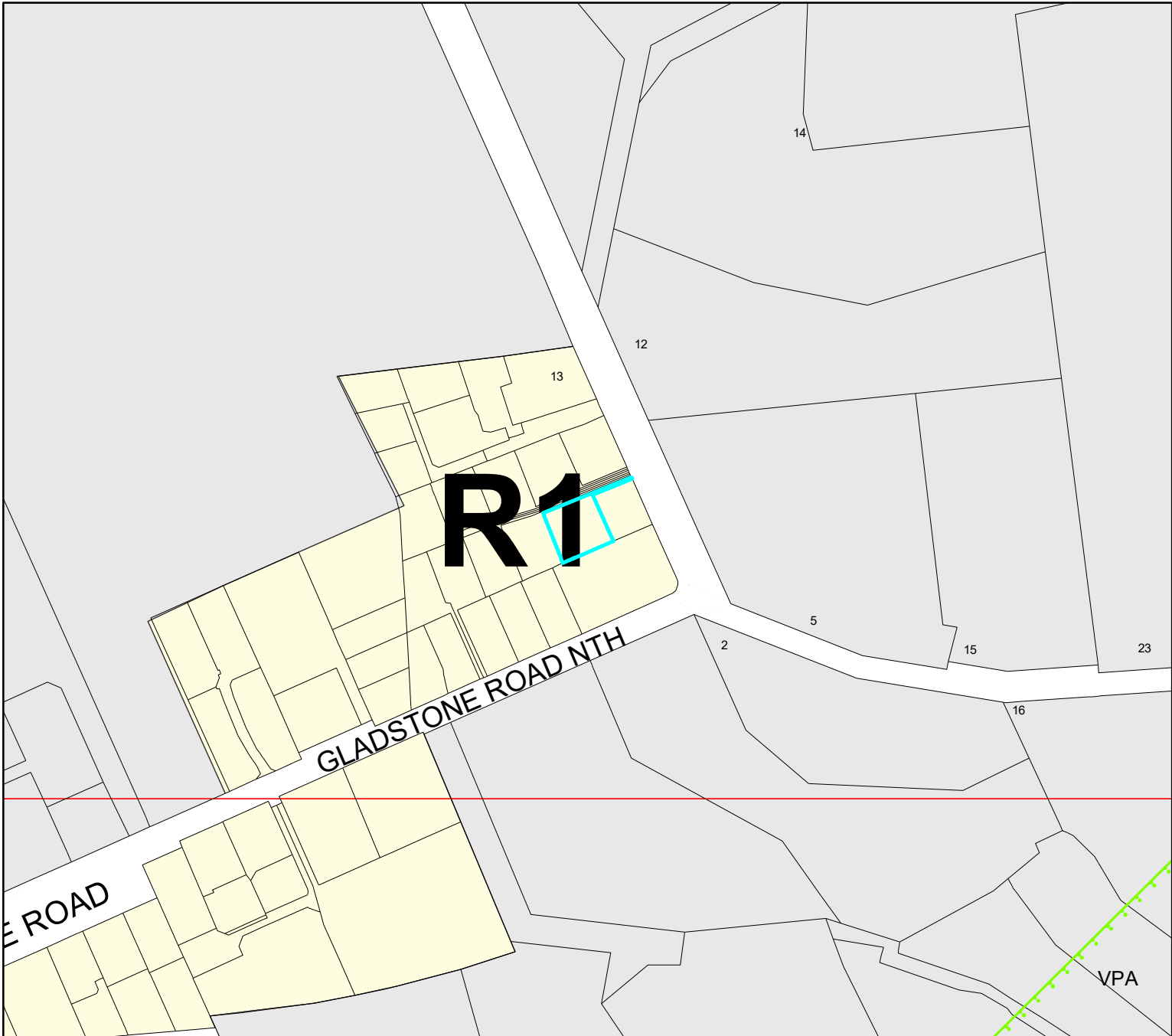
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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

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# Legend

- Significant Trees
  - Transpower Structure
  - Heritage Structure
  - Heritage Facade
  - DP Archaeological Sites
  - Airport Fan Designation 274 bdy
  - Port Height Restrictions
  - DP Designations
  - Urban Landscape Conservation Area
  - DP Taiari Aerodrome
  - Restricted Water Supply Area
  - Ground Water Protection Zone A
  - Ground Water Protection Zone B
  - Public Roads not Legal
  - Unformed Legal Road
- Zones**
- R1 - Residential 1 Zone
  - R2 - Residential 2 Zone
  - R3 - Residential 3 Zone
  - R4 - Residential 4 Zone
  - R5 - Residential 5 Zone
  - R6 - Residential 6 Zone
  - R6A
  - Campus Zone
  - Airport Zone
  - Stadium Zone
  - CA - Central Activity Zone
  - LSR - Large Scale Retail Zone
  - LA1 - Local Activity Zone 1
  - LA2 - Local Activity Zone 2
  - In1 - Industrial 1 Zone
  - In2 or SD - Industrial 2 or Special Development Zone
  - Port 1 Zone
  - Port 2 Zone
  - RR - Rural Residential Zone
  - Rural Zone
  - H - Harbourside

## Port & Airport Noise

- Air Noise Boundary
- Airport Outer Control Boundary
- Outer Port Control Boundary
- Port Noise Boundary

## Esplanade Requirement

- Esplanade Reserve Required
- Esplanade Strip Required

## Landscape Management Boundary

- outside boundary
- boundary between areas
- prominency boundary

## Townscape

- Townscape and Heritage Precinct Boundary - Internal
- Townscape and Heritage Precinct Boundary

## Pedestrian Frontage

- Identified Pedestrian Crossing
- Verandah Required

## Areas of Significant Conservation Value boundary

- ASCV Boundary
- ASCV Boundary - Internal
- Areas of Significant Conservation Value (Estuarine edge)
- Areas of Significant Conservation Value (Wetland)

Most detail not shown at scales smaller than 1:25,000  
Optimal scale range is 1:2000 - 1:5000

This Planning Map is indicative.

The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.



# Operative District Plan Map

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PARCEL LINES CAN VARY FROM  
LEGAL PARCEL BOUNDARIES  
This map is for illustration purposes only  
and is not accurate to surveying, engineering  
or orthophotographic standards. Every effort  
has been made to ensure correctness and  
timeliness of the information presented.



## CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07-v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2013-1548	Telephone No:	03 477 4000
<b>APPLICANT</b>		<b>PROJECT</b>	
Baghdad Investments Limited 312 Chain Hills Road RD 1 Dunedin 9076		<b>Work Type:</b> New Construction  <b>Intended Use/Description of Work:</b> Sub Division Drainage, Foul and Stormwater  <b>Intended Life:</b> Indefinite, not less than 50 years.	
<b>PROJECT LOCATION</b>		<b>This CCC also applies to the following Amended Consents:</b> N/A	
7 Puddle Alley Wingatui			
<b>LEGAL DESCRIPTION</b>			
<b>Legal Description:</b> LOT 101 DP 456531 <b>Valuation Roll No:</b> 27841-40807 <b>Building Name:</b> N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

☐ Compliance Schedule attached

**Signed for and on behalf of the Council:**



**Team Leader Inspections**

Date: 1 November 2014

# BUILDING CONSENT


DCCBCA-F4-05-v3.0

Consent No:	ABA-2013-1548	Telephone No:	03 477 4000
<b>APPLICANT</b>		<b>PROJECT</b>	
Baghdad Investments Limited 312 Chain Hills Road RD 1 Dunedin 9076		<b>Work Type:</b> New Construction  <b>Intended Use/Description of Work:</b> Sub Division Drainage, Foul and Stormwater  <b>Intended Life:</b> Indefinite, not less than 50 years.	
<b>PROJECT LOCATION</b>		<b>Number of Units:</b> 0	
7 Puddle Alley Wingatui		<b>Number of Levels:</b> 0	
<b>LEGAL DESCRIPTION</b>		<b>Estimated Value:</b> \$170000	
Legal Description: LOT 101 DP 456531  Valuation Roll No: 27841-40807  Building Name: N/A			

This building consent is issued under Section 51 of the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

A Compliance Schedule is not required as a result of the building work associated with this building consent.

**Signed for and on behalf of the Council:**

Name: 

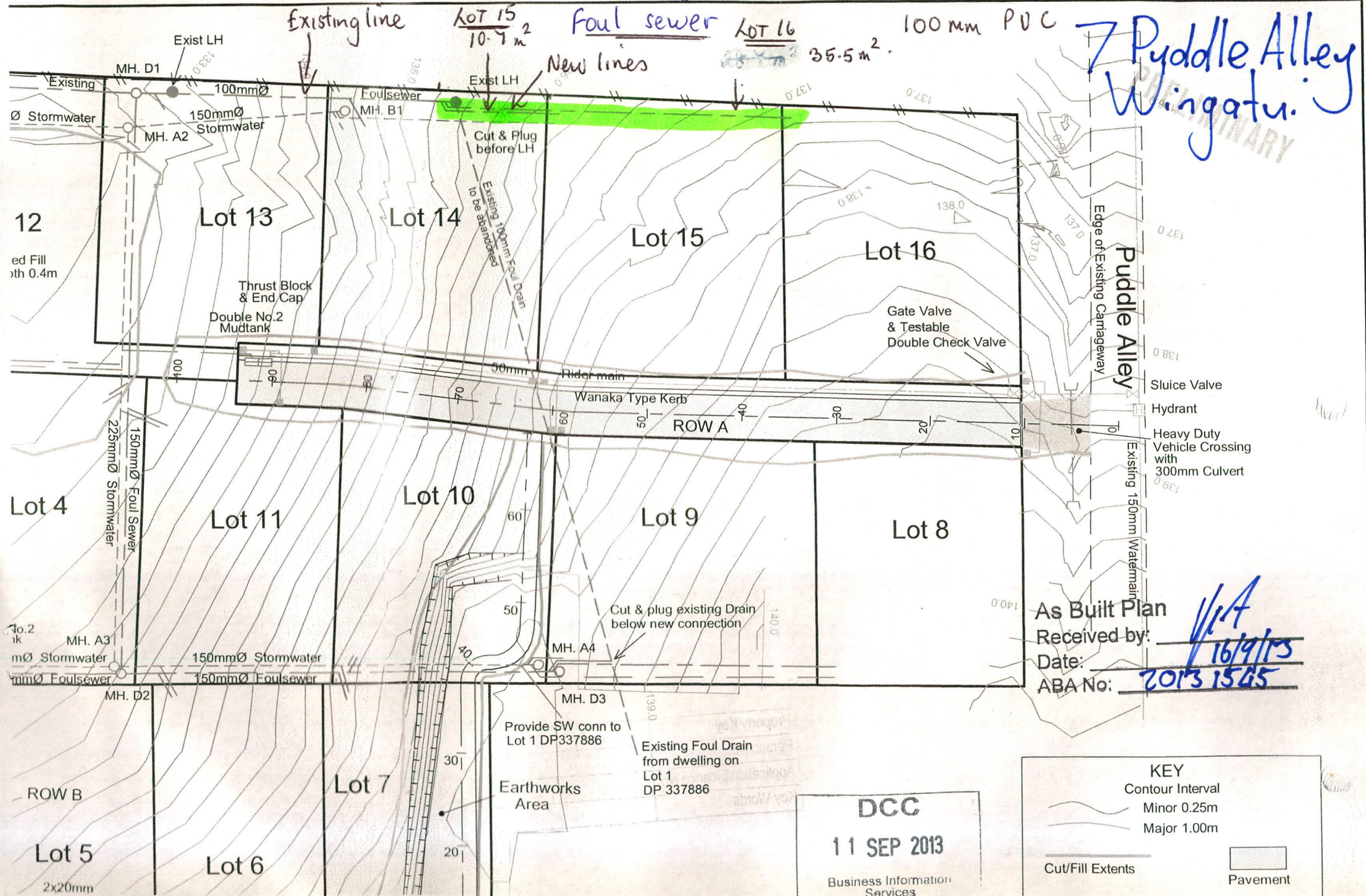
Position: AUTHORISED OFFICER

Date: 20 August 2013

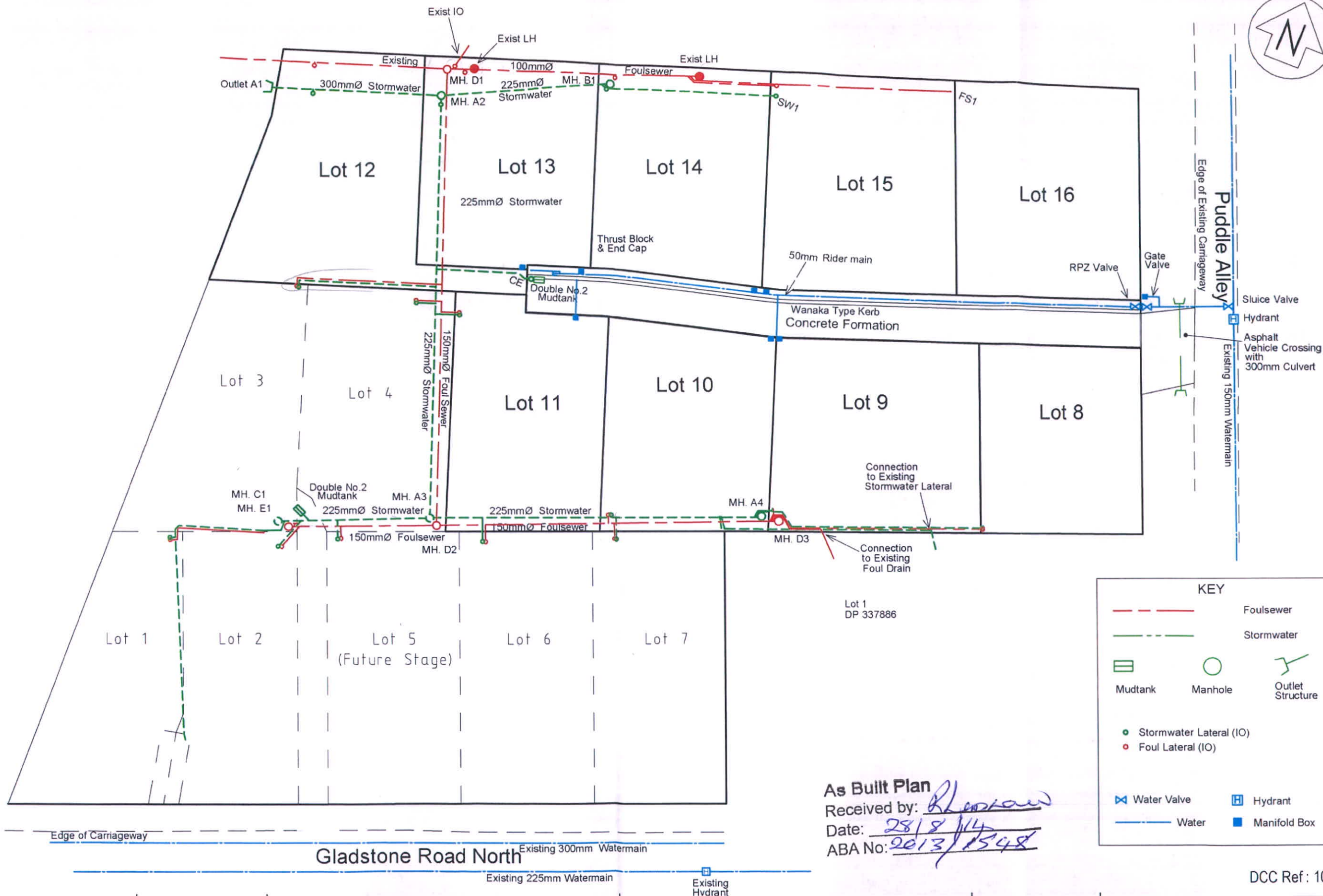


as built drainage plan for LOT 15 & 16. 2013 1548

7 Pyddle Alley Wingatu.







As Built Plan  
Received by: R. Shaw  
Date: 28/8/14  
ABA No: 2013/1548

**KEY**

---	Foulsewer
---	Stormwater
[ ]	Mudtank
( )	Manhole
Y	Outlet Structure
●	Stormwater Lateral (IO)
○	Foul Lateral (IO)
⋈	Water Valve
[ ]	Hydrant
—	Water
[ ]	Manifold Box

DCC Ref: 10551

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www.ppgroup.co.nz  
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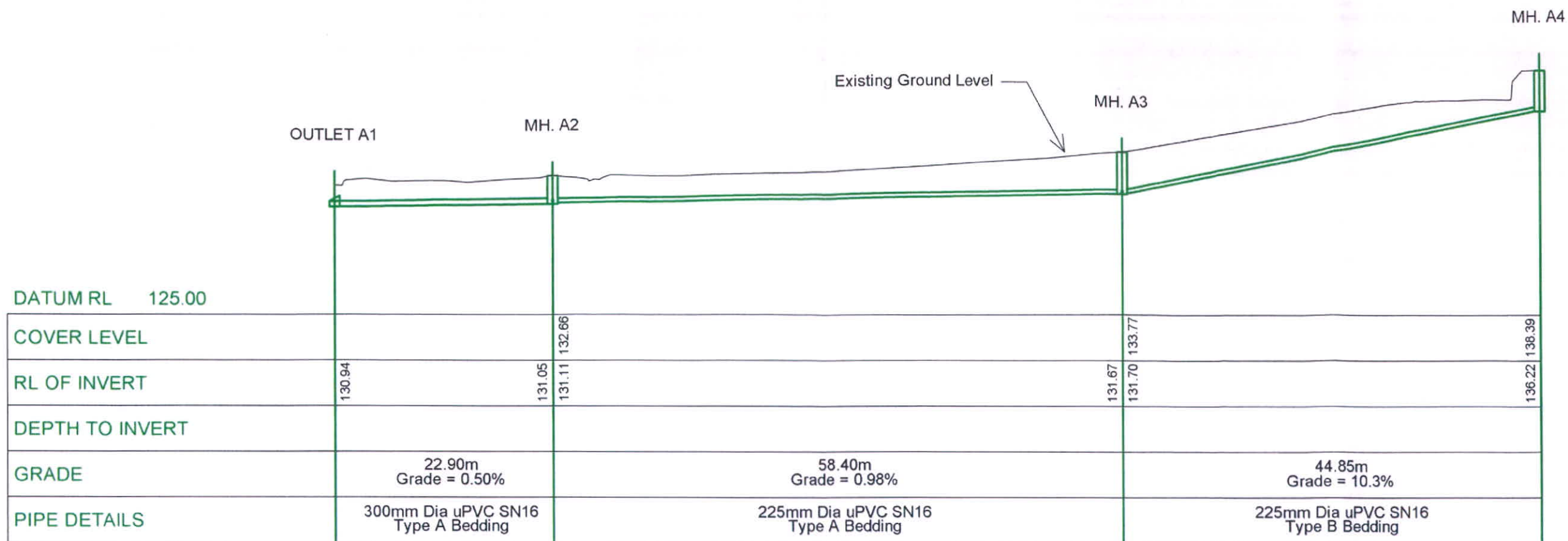
DUNEDIN:  
239 Moray Place  
PO Box 5933,  
Dunedin 9058  
T 03 477 3245  
F 03 474 0484  
E dunedin@ppgroup.co.nz

Client Location  
**Baghdad Investments Ltd.**  
**5 Puddle Alley - Wingatui**

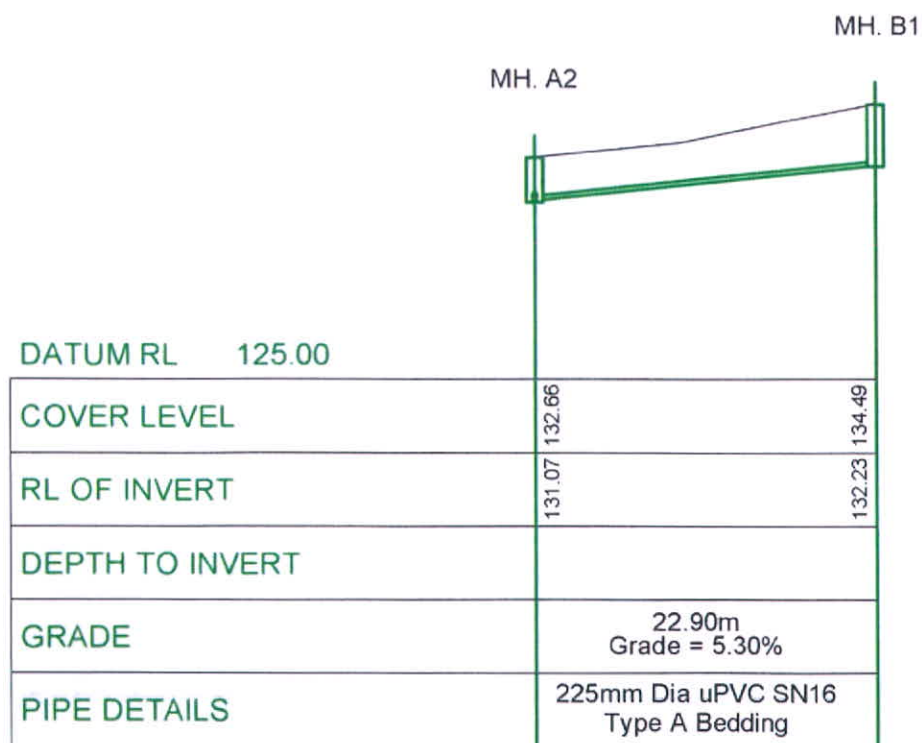
Purpose Drawing Title  
**As - Built**  
**General Layout**

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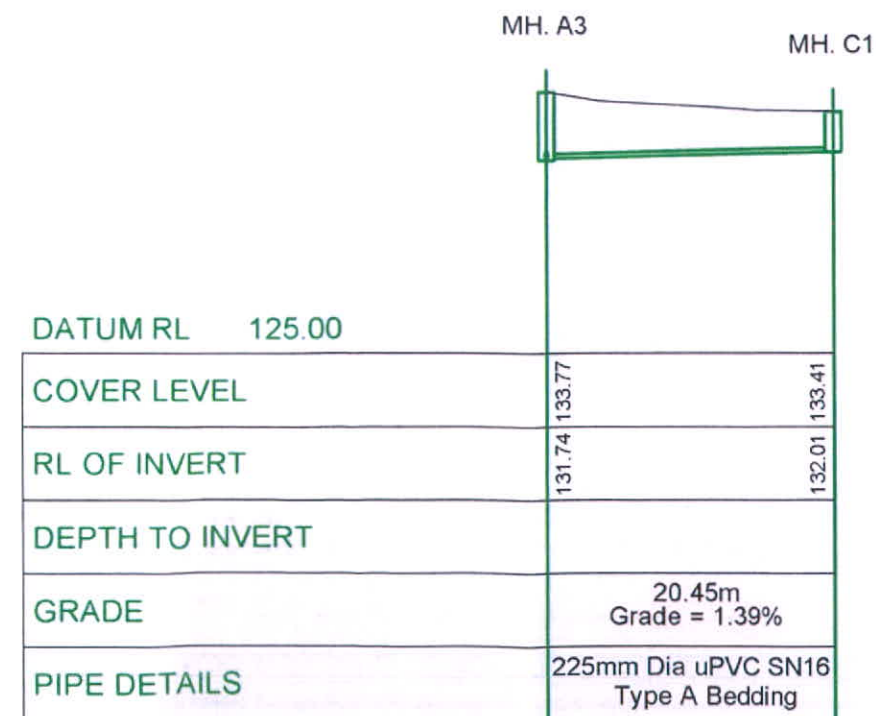
Surveyed by	M. Wyle	Original Size	Scale
Designed by			1:500
Drawn by		A3	
Checked by	P. Williams		
Approved by			DO NOT SCALE
Job Ref	D13872	Sheet No	1 of 3
		Revision No	
		Date Created	11/08/2014



### Stormwater Line A



### Stormwater Line B



### Stormwater Line C

DCC Ref : 10551

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E dunedin@ppgroup.co.nz

Client Location

Baghdad Investments Ltd.  
5 Puddle Alley - Wingatui

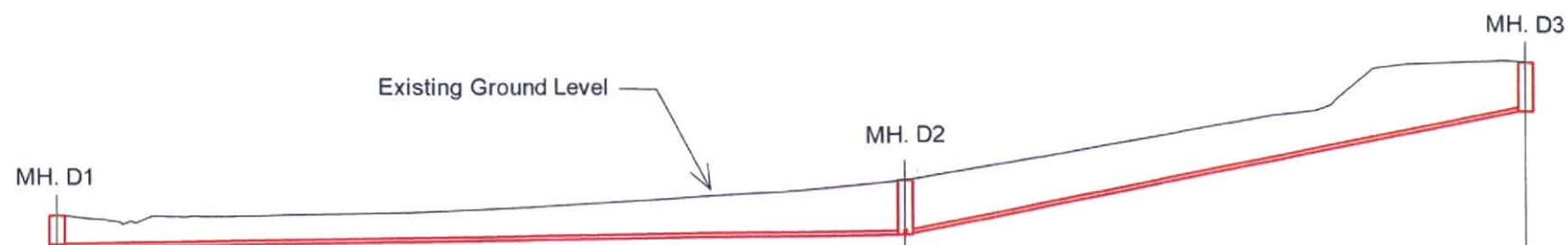
Purpose/Drawing Title

As - Built  
Stormwater - Long Sections

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Surveyed by	M Wylie	Original Size	Scale
Designed by		A3	HZ 1:500 Vt 1:100
Drawn by			
Checked by	P. Williams		
Approved by			
Job Ref	D13872	Sheet No	2 of 3
		Person No	
		Date Created	11/08/2014





DATUM RL 120.00

COVER LEVEL	132.64	133.78	138.64
RL OF INVERT	131.44	131.99 132.05	136.65
DEPTH TO INVERT			
GRADE	63.00m Grade = 0.89%		46.25m Grade = 10.16%
PIPE DETAILS	150mm Dia uPVC SN 16 Type A Bedding		150mm Dia uPVC SN 16 Type B Bedding

## Foul Sewer Line D



DATUM RL 120.00

COVER LEVEL	133.78	133.42
RL OF INVERT	132.01	132.20
DEPTH TO INVERT		
GRADE	20.00m Grade = 1.00%	
PIPE DETAILS	150mm Dia uPVC SN16 Type A Bedding	

## Foul Sewer Line E

DCC Ref : 10551

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E dunedin@ppgroup.co.nz

Client/Location

Baghdad Investments Ltd.  
5 Puddle Alley - Wingatui

Purpose/Drawing Title

As - Built  
Foul Sewer - Long Section

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Surveyed by	M. Wyle	Original Size  
-------------	---------	---

## CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07-v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2014-857	Telephone No:	03 477 4000
<b>APPLICANT</b>		<b>PROJECT</b>	
Baghdad Investments Limited C/O Craig Hillis 138 School Road South RD 2 Mosgiel 9092		<b>Work Type:</b> New Construction  <b>Intended Use/Description of Work:</b> Erect Dwelling with Attached Garage  <b>Intended Life:</b> Indefinite, not less than 50 years.	
<b>PROJECT LOCATION</b>		<b>This CCC also applies to the following Amended Consents:</b> ABA 2014-857/A	
7A Puddle Alley Wingatui  (Now known as 3 Heasley Lane Wingatui)			
<b>LEGAL DESCRIPTION</b>			
<b>Legal Description:</b> LOT 102 DP 463486 <b>Valuation Roll No:</b> 27841-40815 <b>Building Name:</b> N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

☐ Compliance Schedule attached

**Signed for and on behalf of the Council:**



**Team Leader Inspections**

Date: 18 February 2015

# BUILDING CONSENT


DCCBCA-F4-05-v3.0

Consent No:	ABA-2014-857	Telephone No:	03 477 4000
<b>APPLICANT</b>		<b>PROJECT</b>	
Baghdad Investments Limited 312 Chain Hills Road RD 1 Dunedin 9076		<b>Work Type:</b> New Construction <b>Intended Use/Description of Work:</b> Erect Dwelling with Attached Garage <b>Intended Life:</b> Indefinite, not less than 50 years.	
<b>PROJECT LOCATION</b>		<b>Number of Units:</b> 1	
7A Puddle Alley Wingatui		<b>Number of Levels:</b> 1	
<b>LEGAL DESCRIPTION</b>		<b>Estimated Value:</b> \$300000	
Legal Description: LOT 102 DP 463486 Valuation Roll No: 27841-40815 Building Name: N/A			

This building consent is issued under Section 51 of the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

A Compliance Schedule is not required as a result of the building work associated with this building consent.

**Signed for and on behalf of the Council:**

Name: 

Position: AUTHORISED OFFICER

Date: 4 July 2014



# As Built Plan

Received by: Paul Martin

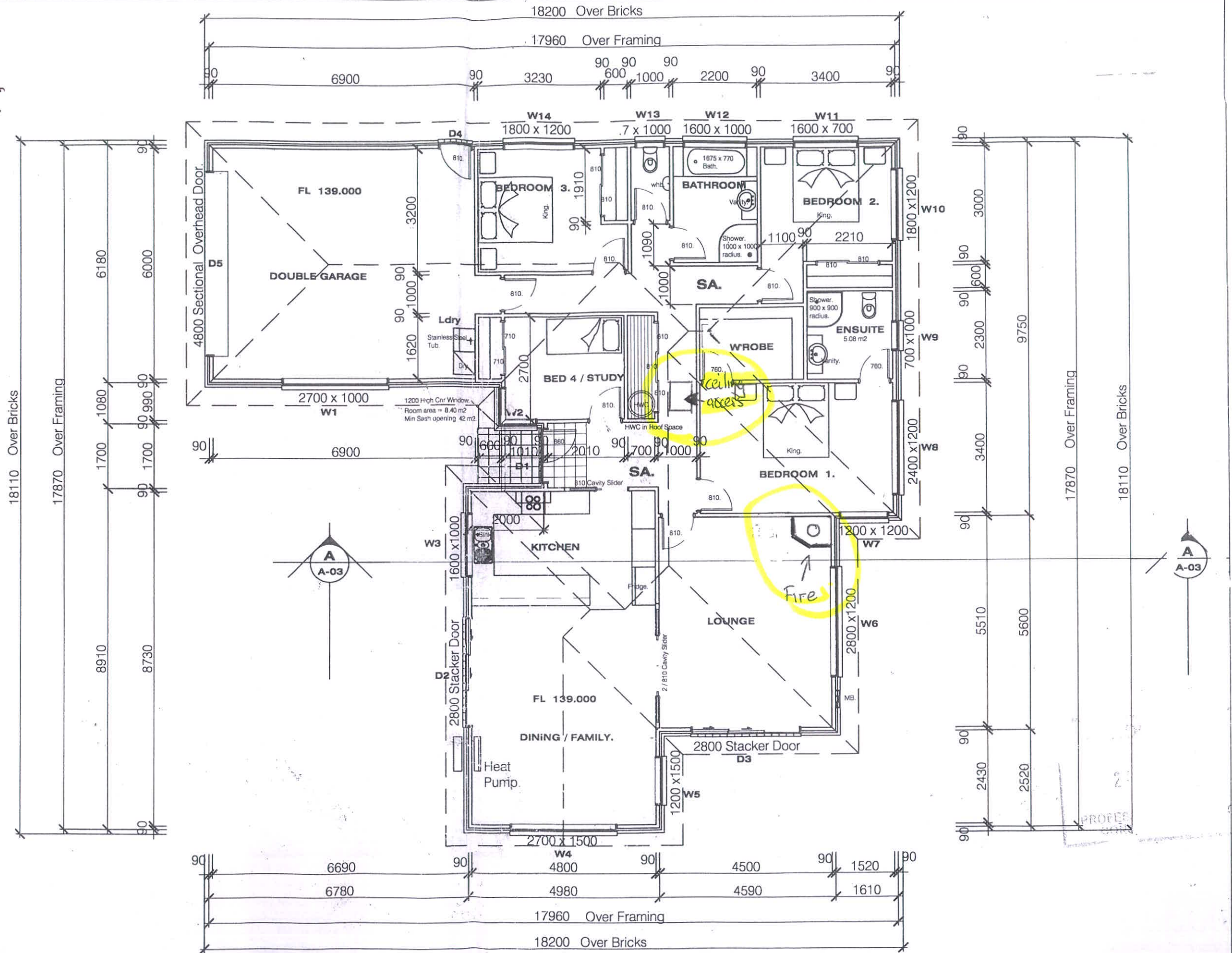
Date: 17-2-2015

ABA No: 2014-857

## FLOOR PLAN 1:100 A-02

Area over Framing = 212.67 m<sup>2</sup>. P = 75.659 lm.  
 Area over Bricks = 221.81 m<sup>2</sup>. P = 76.620 lm.  
 Area over Roofing = 259.13 m<sup>2</sup>. P = 77.960 lm.  
 Living area = 168.78 m<sup>2</sup>. P = 63.060 lm.  
 Garage area = 43.89 m<sup>2</sup>. P = 27.720 lm.  
 Percentage area cover = 221.81 / 742 = 30%.

SA. = Smoke Alarm.



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 www.houseplanz.co.nz

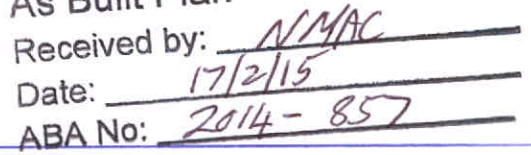
Client : Baghdad Investments Ltd.  
 Lot 9, Puddle Alley, Mosgiel.  
 Lot# : DP Subdiv', 2012/14, 742 m<sup>2</sup>  
 Project : PROPOSED NEW RESIDENCE

Wind Zone : A/Very High  
 E'quake Zone : Zone 1, D&E  
 Scale @ A3.

Sheet Description:  
 FLOOR PLAN

Sheet Number: **A-02**  
 Date: MAY 2014  
 Project #: **2113/03/14**

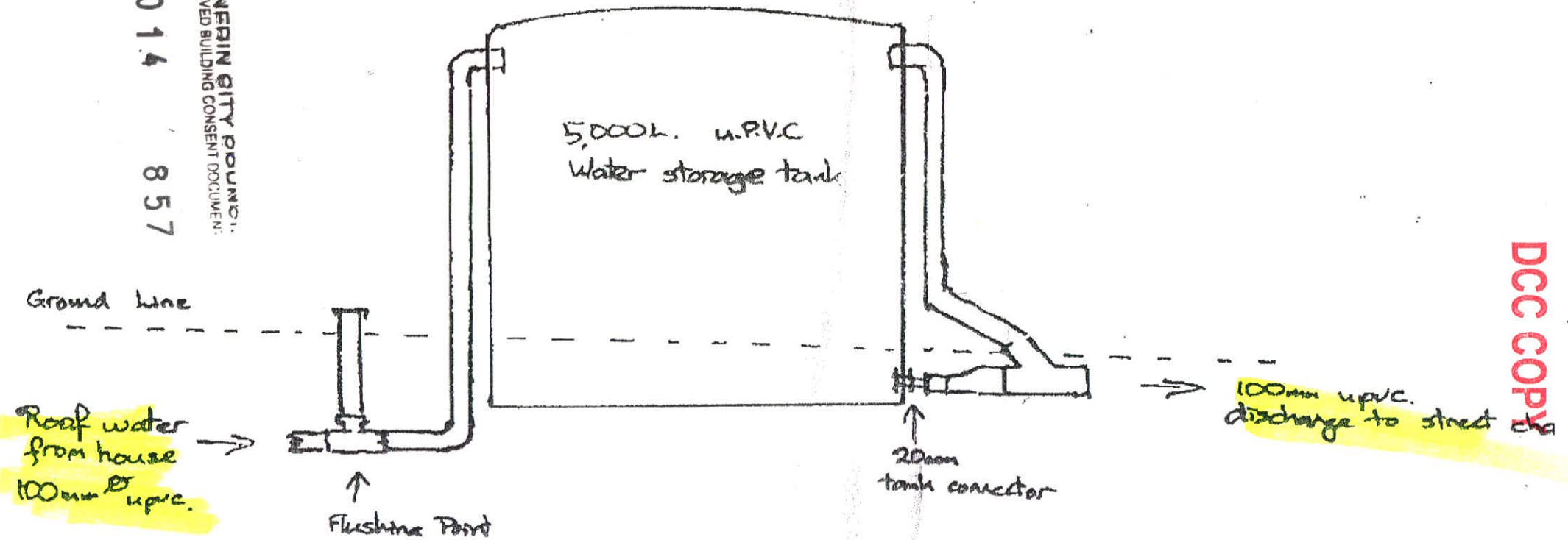
Driveway





DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2014 857



DCC COPY

C

## PROPOSED NEW RESIDENCE

for:

BAGHDAD INVESTMENTS LIMITED  
 Lot 9,  
 PUDDLE ALLEY  
 MOSGIEL.

Lot 9  
 DP Subdivision 2012/14  
 Area 742.4m<sup>2</sup>.

BUILDING PARAMETERS  
 Concrete Floor  
 Timber Framed  
 70 Series Brick Veneer  
 Aluminium DG Joinery  
 Corrugated Colorsteel Roofing

## AFFECTED ZONES

Durability = B.  
 Climate = 3.  
 Earthquake = Zone 1. D&E  
 Wind = A / Very High.

## DRAWING LEGEND.

CS-00	COVER SHEET.
A-01	SITE PLAN & SERVICES
A-02	FLOOR PLAN
A-03	SECTION A.
A-04	BRACING PLAN
A-05	ELEVATIONS
A-06	ELEVATIONS
A-07	FOUNDATION PLAN & DRAINAGE
A-08	ROOF PLAN
A-09	DETAILS
A-10	DETAILS
A-11	DETAILS
A-12	DETAILS
A-13	DETAILS

DUNEDIN CITY COUNCIL  
 APPROVED BUILDING CONSENT DOCUMENTS

2014 857

PROCESSED

24 JUN 2014

PROFESSIONAL BUILDING  
 CONSULTANTS LTD

ISSUED FOR  
 BUILDING CONSENT  
 (14 Sheets)

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 www.houseplanz.co.nz

Client : Baghdad Investments Ltd.  
 Lot 9, Puddle Alley, Mosgiel.  
 Lot# : DP Subdiv', 2012/14 742.4m<sup>2</sup>.  
 Project : PROPOSED NEW RESIDENCE

Wind Zone : A/Very High  
 E'quake Zone : Zone 1, D&E  
 Scale @ A3.

Sheet Description:  
 COVER SHEET

Sheet Number: **CS-00**

Date: MAY 2014

Project #: **2113/03/14**



PUDDLE ALLEY

DUNEDIN CITY COUNCIL  
Plans and Specifications Approved in accordance  
with The New Zealand Building Code and Approved  
Documents. To be retained on works  
and produced on request  
Date  
Date  
Date  
NOTE

ROW A.

ROW A.

Lot 16

PROCESSED

24 JUN 2014

PROFESSIONAL BUILDING  
CONSULTANTS LTD.

DCC CITY PLAN 11.15  
Lot 15.  
THESE PLANS ARE APPROVED  
This development complies with the District Plan  
subject to:

M. W.  
Signed

30/5/14  
Dated

SITE PLAN & SERVICES  
1:200 A-01

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Client : Baghdad Investments Ltd.  
Lot 9, Puddle Alley, Mosgiel.  
Lot# : DP Subdiv', 2012/14 742 m2  
Project : PROPOSED NEW RESIDENCE

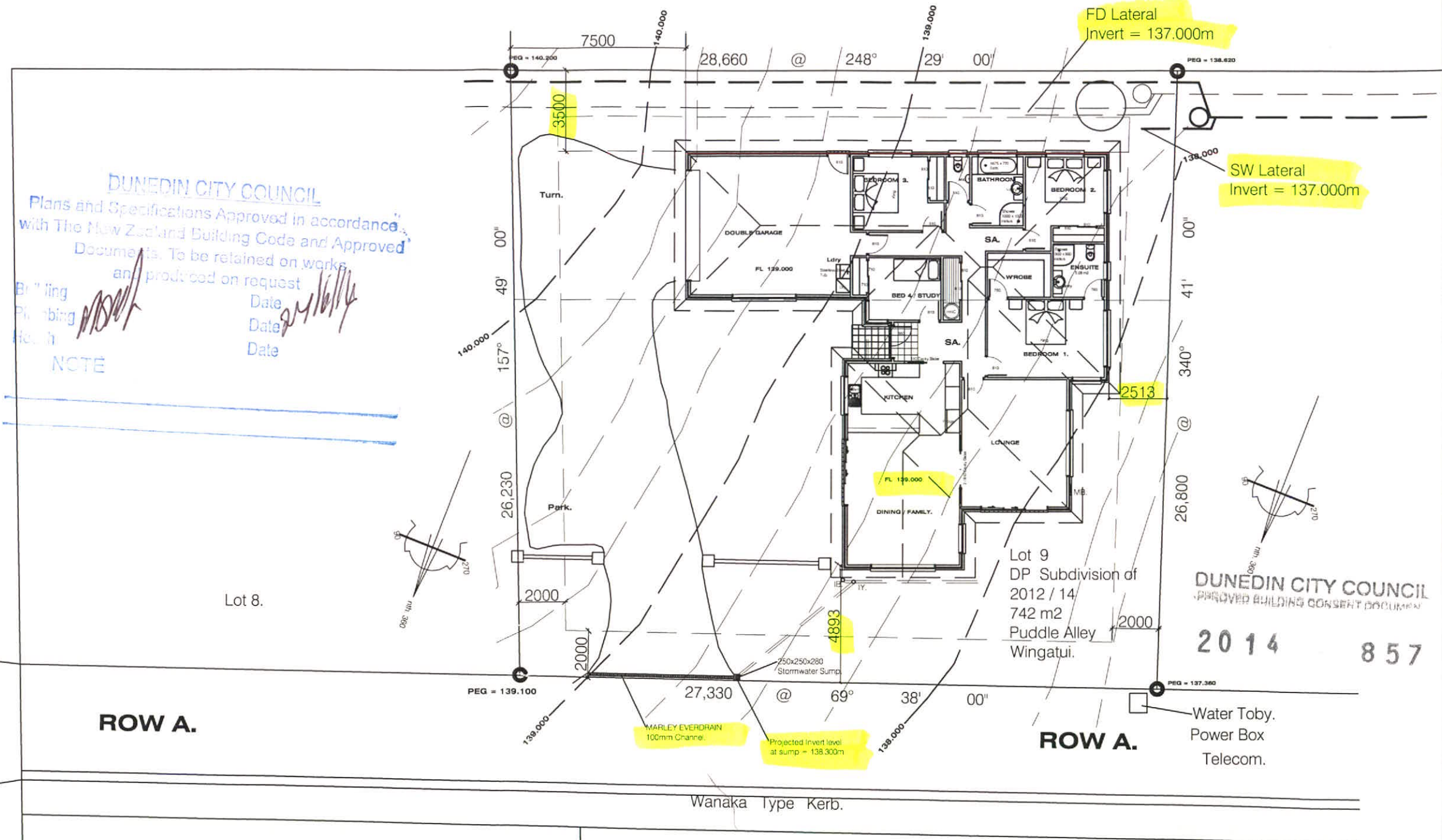
Wind Zone : A/Very High  
E'quake Zone : Zone 1, D&E  
Scale @ A3.

Sheet Description:  
SITE PLAN & SERVICES

Sheet Number: **A-01**

Date: MAY 2014

Project #. **2113/03/14**

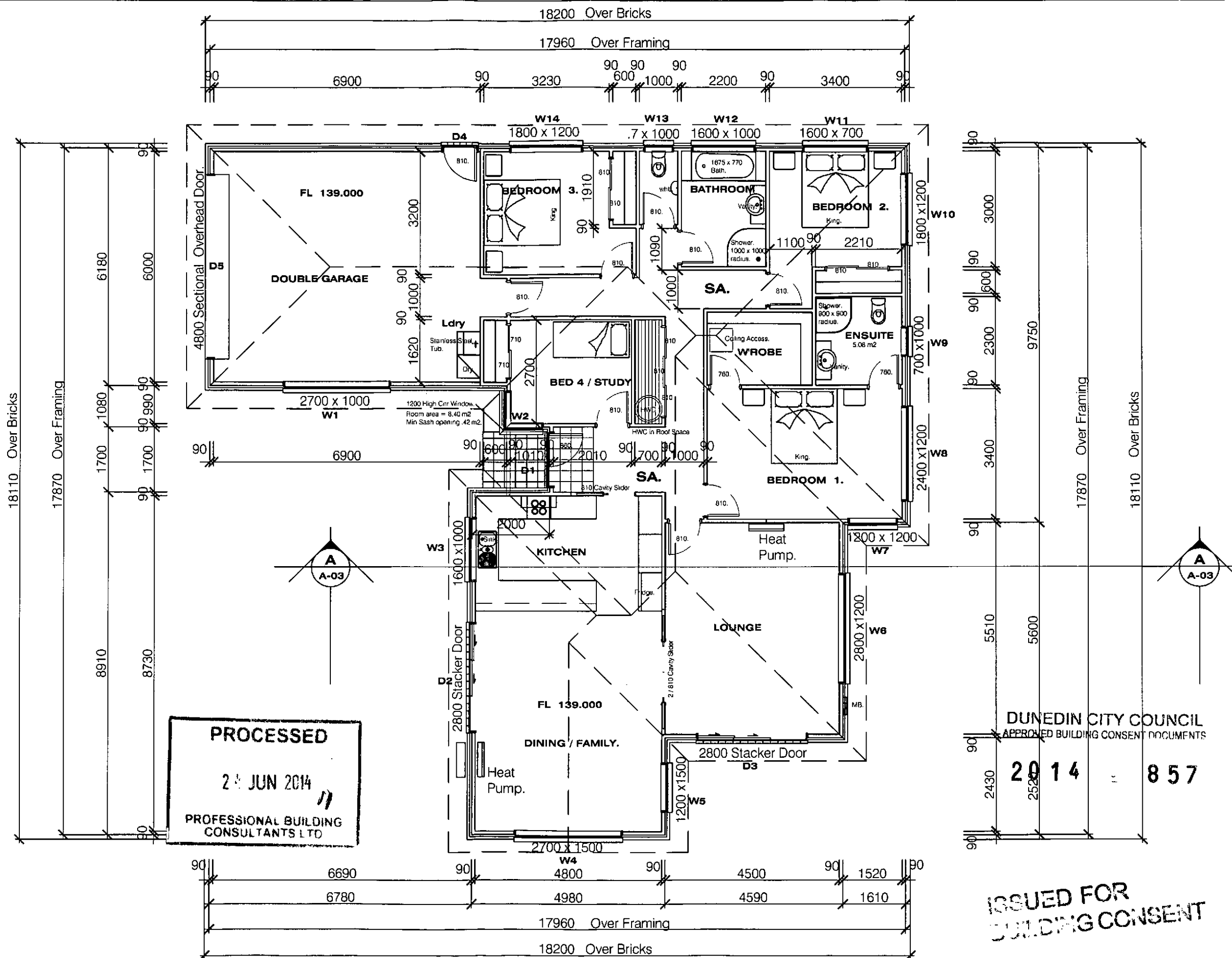




# **FLOOR PLAN 1:100 A-02**

Area over Framing = 212.67 m<sup>2</sup>. P = 75.659 lm.  
 Area over Bricks = 221.81 m<sup>2</sup>. P = 76.620 lm.  
 Area over Roofing = 259.13 m<sup>2</sup>. P = 77.960 lm.  
 Living area = 168.78 m<sup>2</sup>. P = 63.060 lm.  
 Garage area = 43.89 m<sup>2</sup>. P = 27.720 lm.  
 Percentage area cover = 221.81 / 742 = 30%.

**SA.** = Smoke Alarm.



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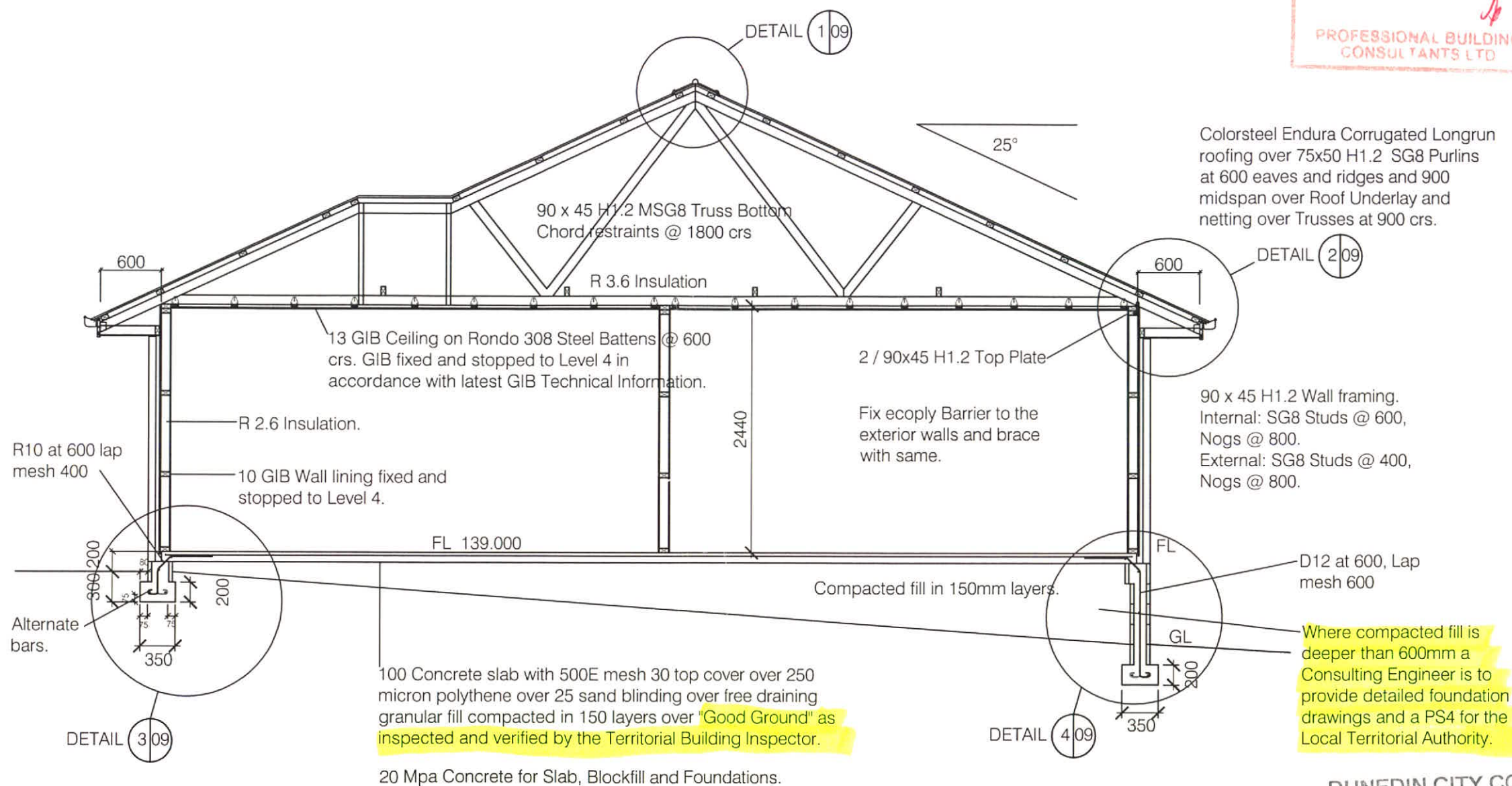
NZPS Co. Ltd. Phone 03 467 5169.  
 graeme @ houseplanz.co.nz  
 www.houseplanz.co.nz

Client : Baghdad Investments Ltd.  
 Lot 9, Puddle Alley, Mosgiel.  
 Lot# : DP Subdiv', 2012/14, 742 m<sup>2</sup>  
 Project : PROPOSED NEW RESIDENCE

Wind Zone : A/Very High  
 E'quake Zone : Zone 1, D&E  
 Scale @ A3.

Sheet Description:  
 FLOOR PLAN

Sheet Number: **A-02**  
 Date: MAY 2014  
 Project #: **2113/03/14**



SECTION A 1:50 A-03

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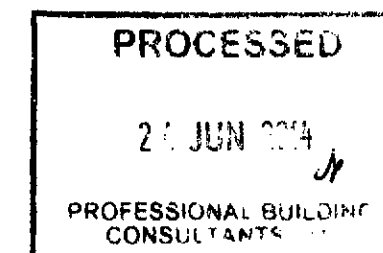
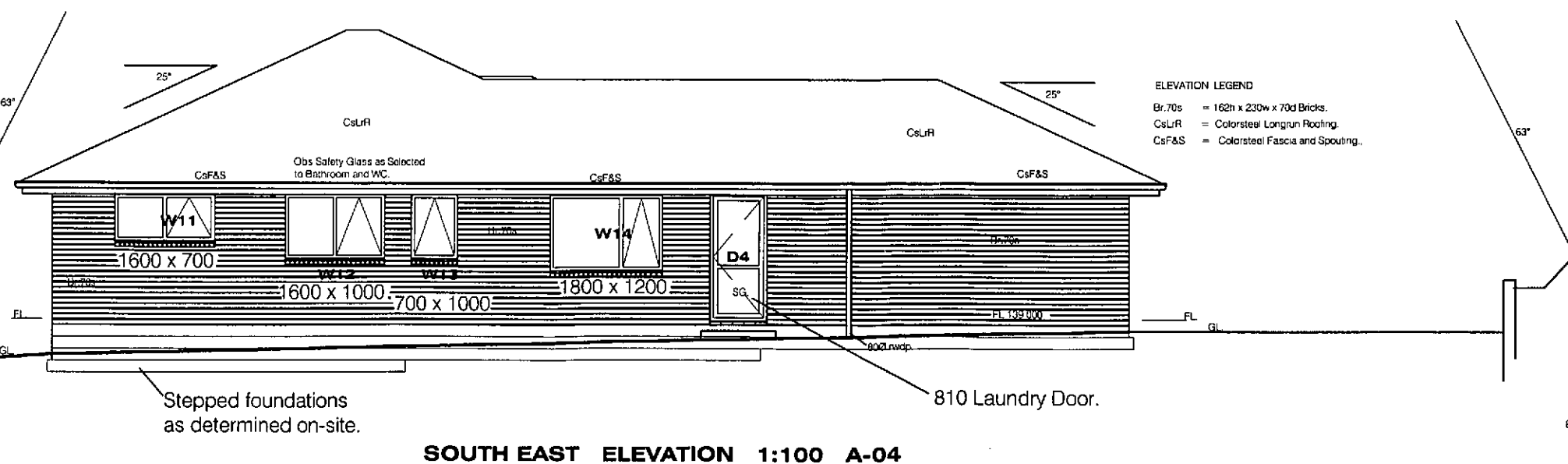
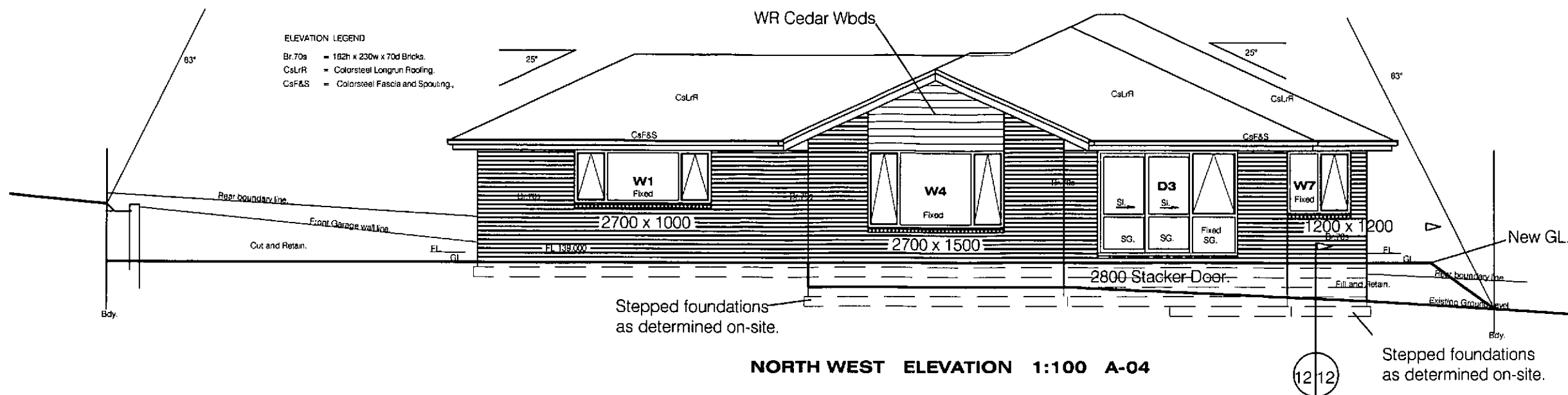
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www.houseplanz.co.nz

Client : Baghdad Investments Ltd.  
Lot 9, Puddle Alley, Mosgiel.  
Lot# : DP Subdiv' 2012/14 742m2  
Project : PROPOSED NEW RESIDENCE

Wind Zone : A/Very High  
E'quake Zone : Zone 1, D&E  
Scale @ A3.

Sheet Description:  
SECTION A.

Sheet Number: **A-03**  
Date: MAY 2014  
Project #: **2113/03/14**



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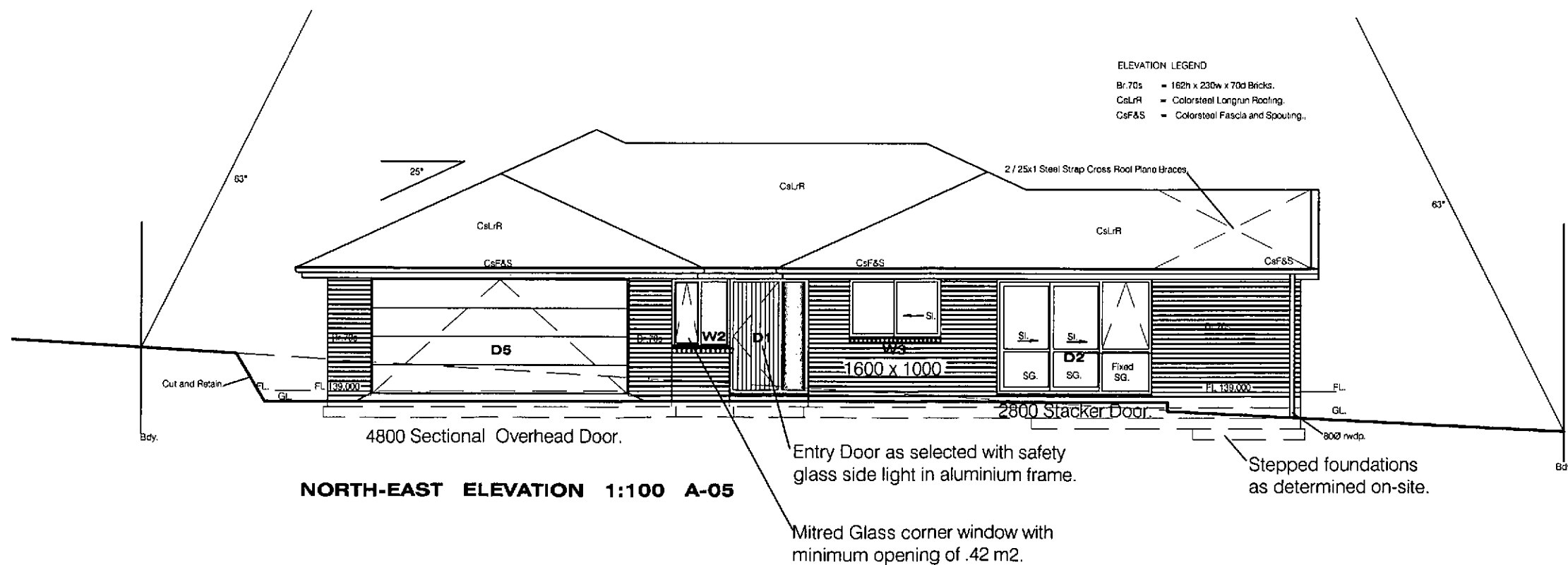
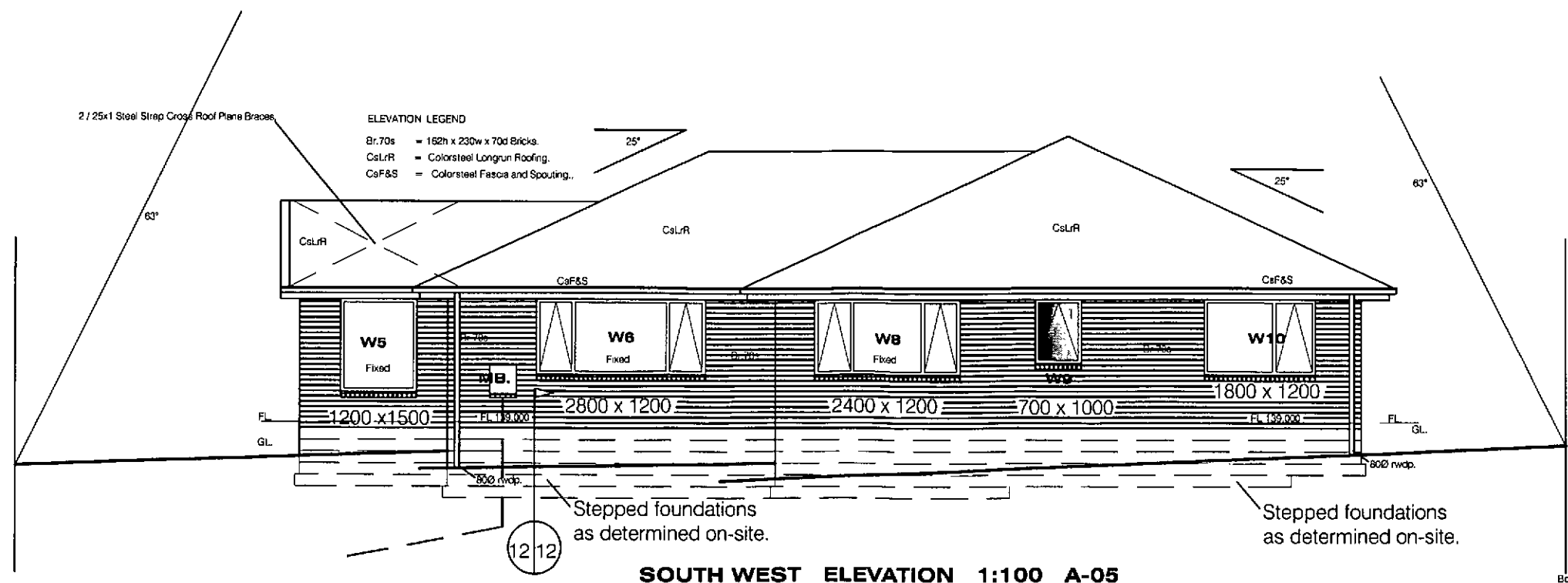
NZPS Co. Ltd. Phone 03 467 5169.  
 graeme@houseplanz.co.nz  
 www.houseplanz.co.nz

Client : Baghdad Investments Ltd.  
 Lot 9, Puddle Alley, Mosgiel.  
 Lot# : DP Subdiv', 2012/14 742.4m2.  
 Project : PROPOSED NEW RESIDENCE

Wind Zone : A/Very High  
 E'quake Zone : Zone 1, D&E.  
 Scale @ A3.

Sheet Description:  
 NORTH-EAST &  
 SOUTH-WEST ELEVATIONS.

Sheet Number: **A-04**  
 Date: MAY 2014  
 Project #: **2113/03/14**



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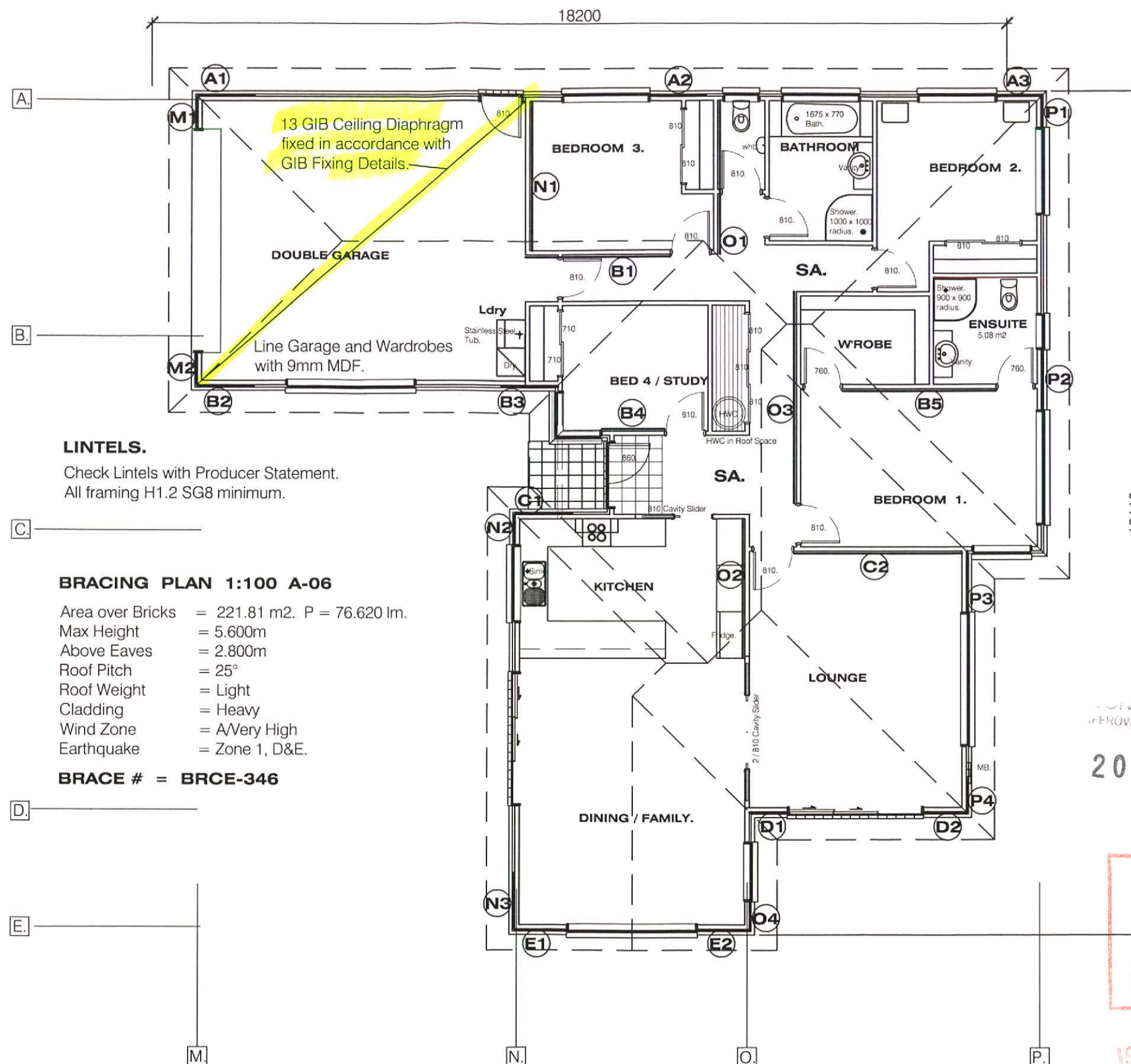
Client : Baghdad Investments Ltd.  
Lot 9, Puddle Alley, Mosgiel.  
Lot# : DP Subdiv', 2012/14 742.4m2.  
Project : PROPOSED NEW RESIDENCE

Wind Zone : A/Very High  
E'quake Zone : Zone 1, D&E  
Scale @ A3.

Sheet Description:  
SOUTH-WEST &  
NORTH-EAST ELEVATIONS

Sheet Number: **A-05**  
Date: MAY 2014  
Project #: **2113/03/14**





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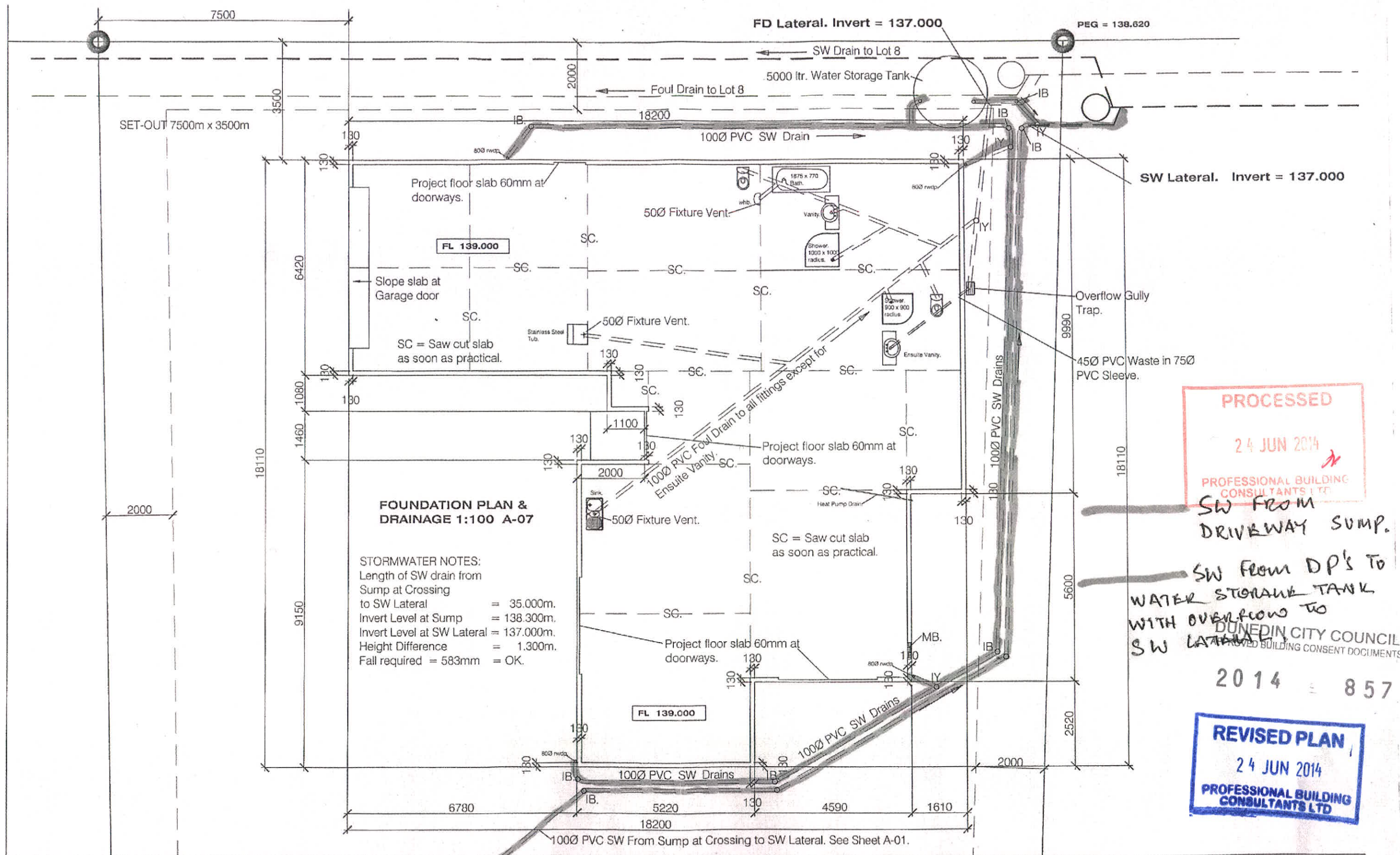
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 graeme @ houseplanz.co.nz  
 www.houseplanz.co.nz

Client : Baghdad Investments Ltd.  
 Lot 9, Puddle Alley, Mosgiel.  
 Lot# : DP Subdiv', 2012/14 742.4 m<sup>2</sup>.  
 Project : PROPOSED NEW RESIDENCE

Wind Zone : A/Very High  
 E'quake Zone : Zone 1, D&E  
 Scale @ A3.  
 Sheet Description:  
 BRACING PLAN.

Sheet Number: **A-06**  
 Date: MAY 2014  
 Project #: **2113/03/14**





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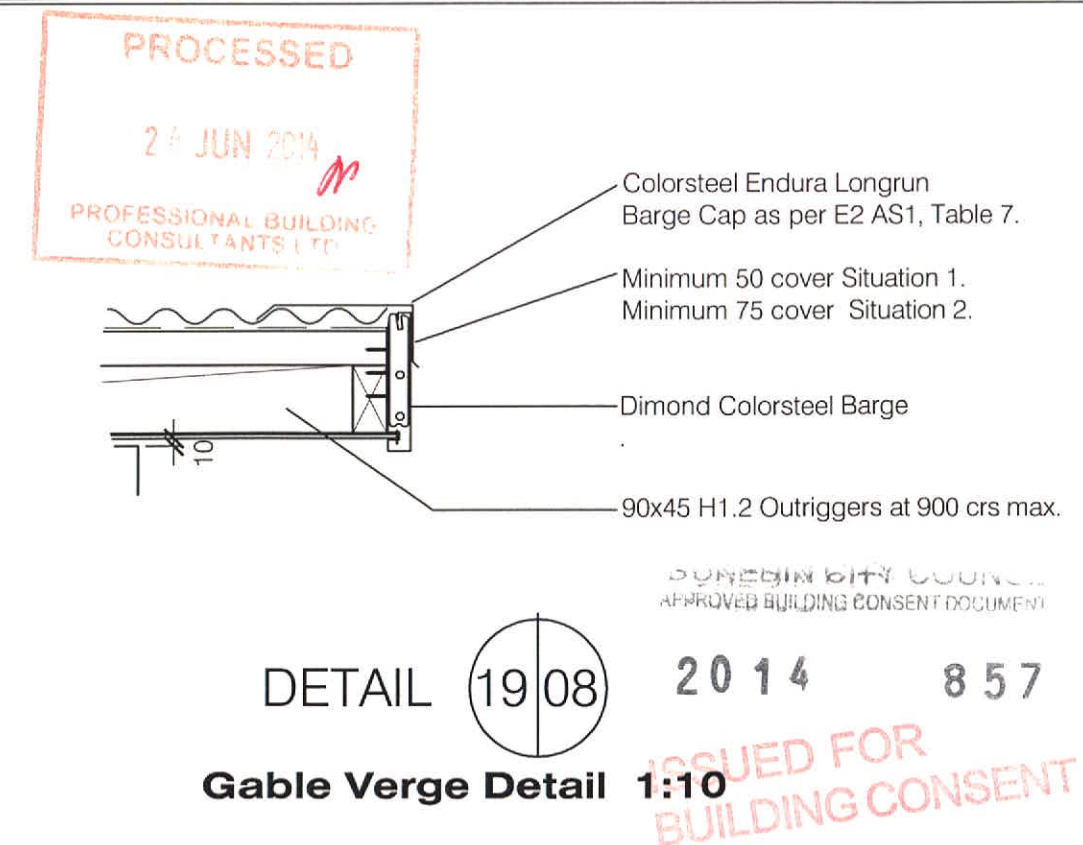
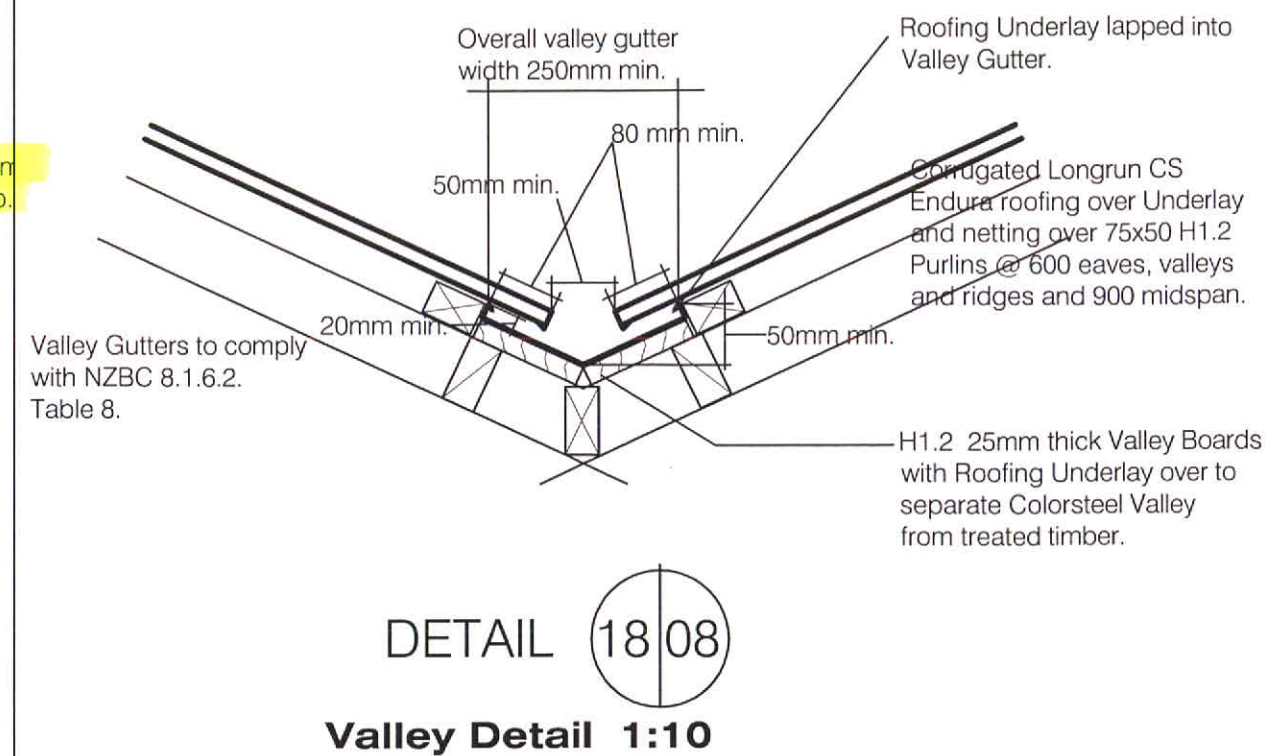
Client : Baghdad Investments Ltd.  
 Lot 9, Puddle Alley, Mosgiel.  
 Lot# : DP Subdiv', 2012/14 742.4m2.  
 Project : PROPOSED NEW RESIDENCE

Wind Zone : A/Very High  
 E'quake Zone : Zone 1, D&E  
 Scale @ A3.

Sheet Description:  
 FOUNDATION PLAN  
 AND DRAINAGE.

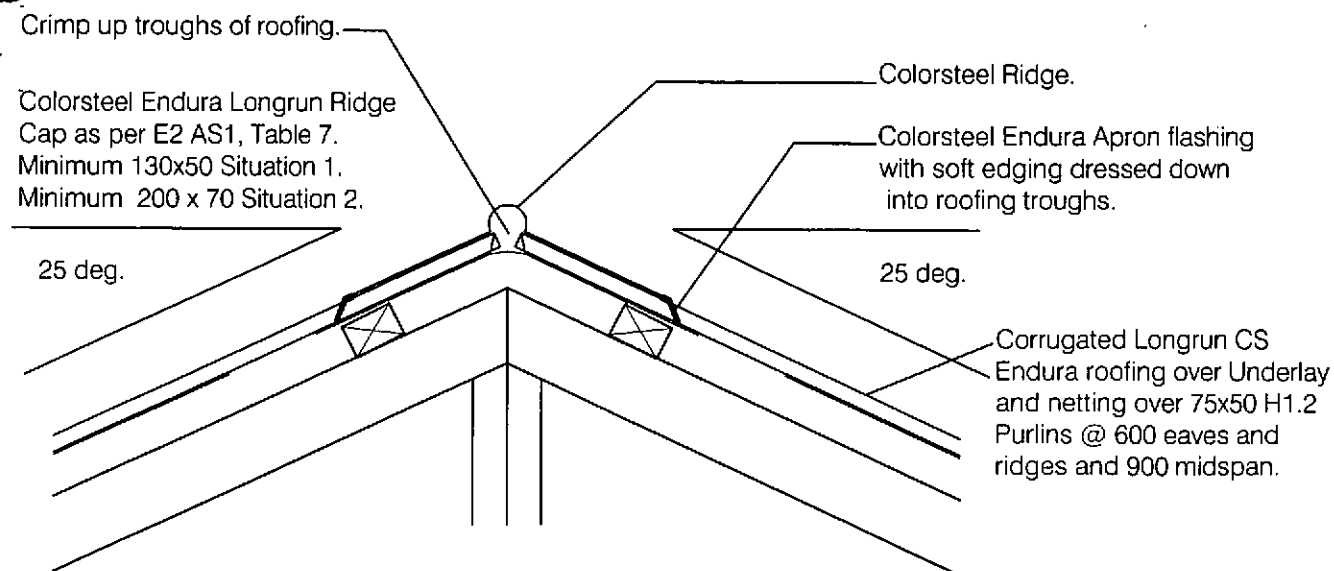
Sheet Number: **A-07**  
 Date: MAY 2014  
 Project #: **2113/03/14**





Sheet Number: **A-08**  
Date: MAY 2014  
Project #. **2113/03/14**





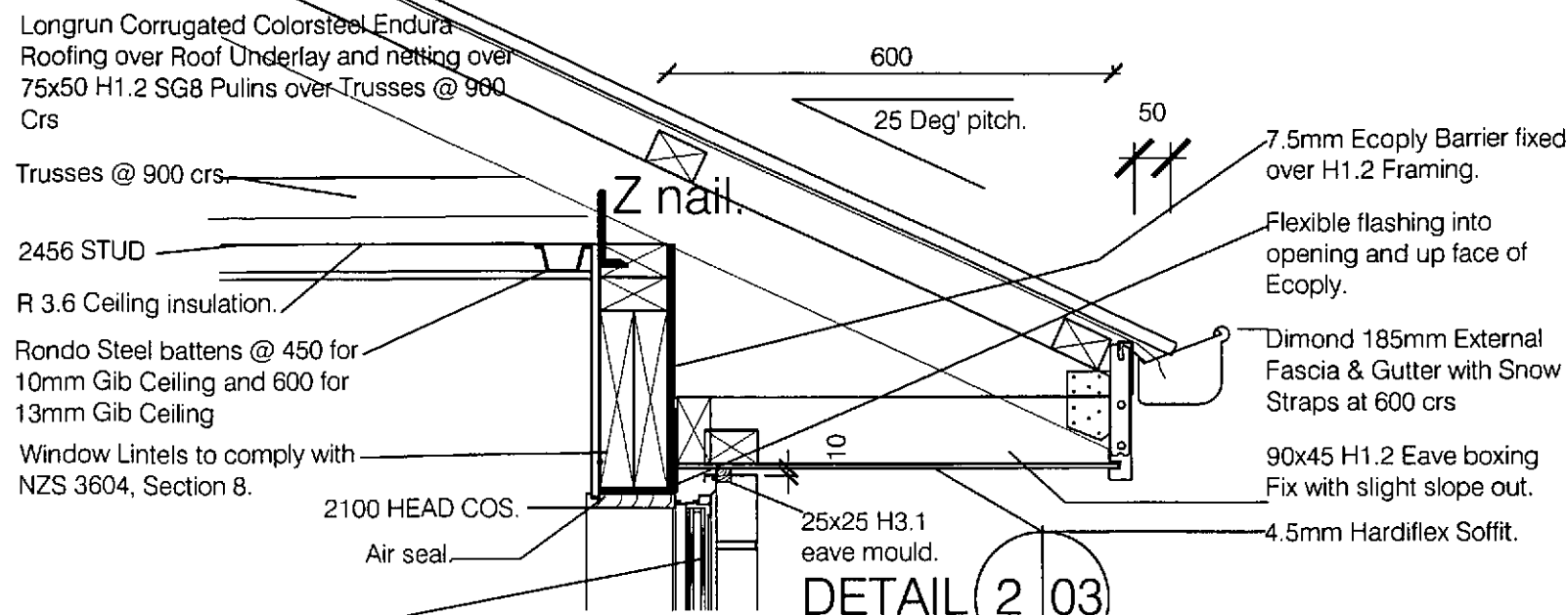
DETAIL 1 03

Ridge Detail 1:10 A-09

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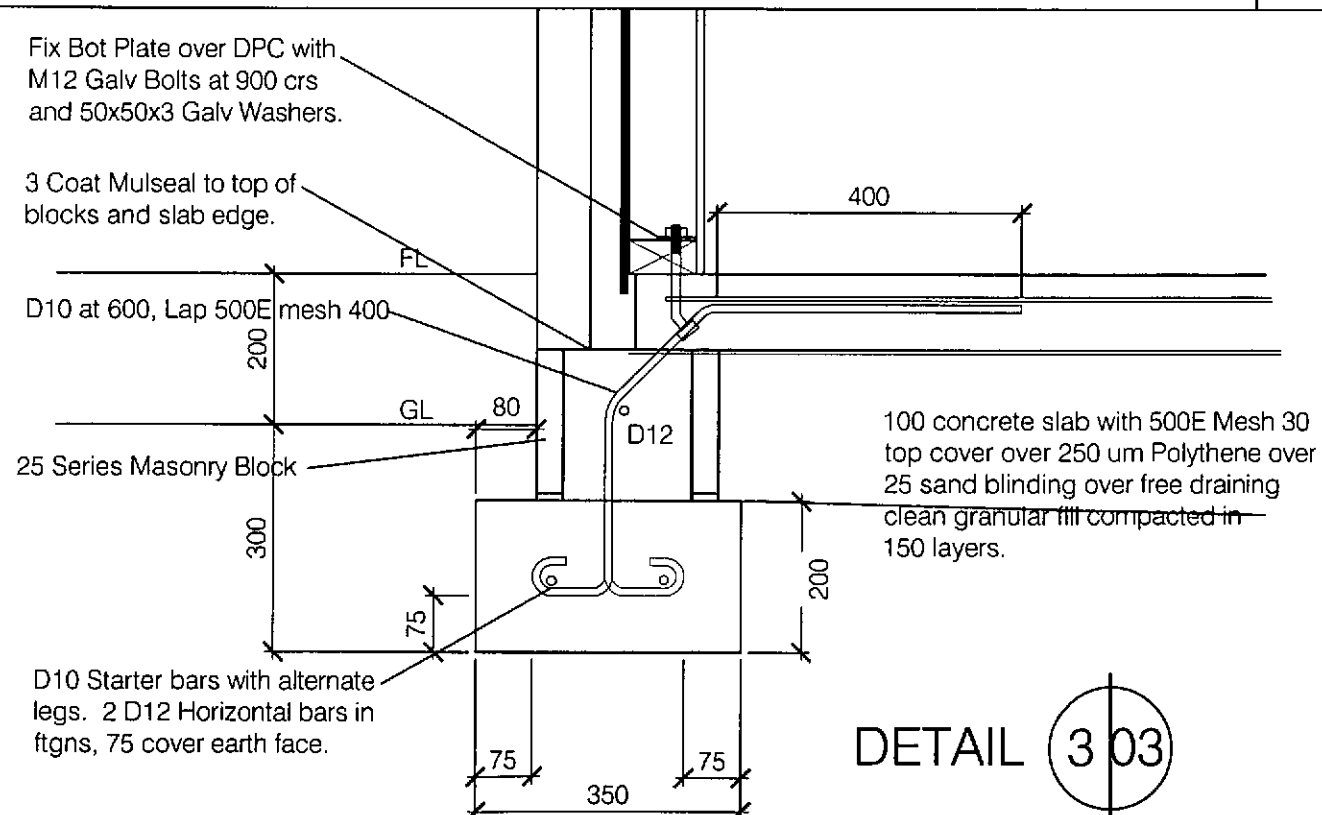
24 JUN 2014

PROFESSIONAL BUILDING CONSULTANTS LTD



DETAIL 2 03

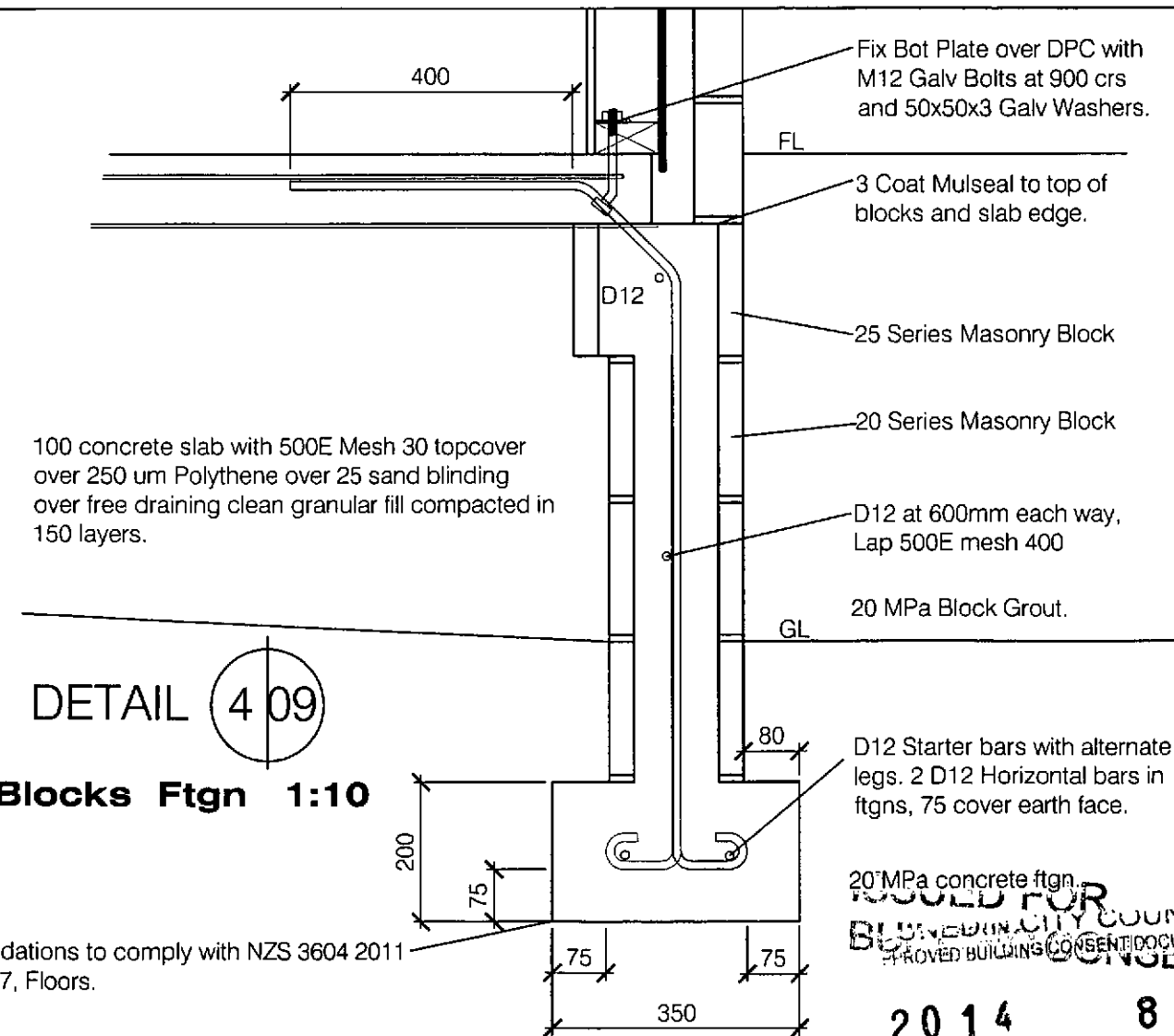
Eave Detail 1:10 A-09



DETAIL 3 03

Foundation Detail 1:10 A-09

All Foundations to comply with NZS 3604 2011 Section 7, Floors.



DETAIL 4 09

4 Blocks Ftgn 1:10

All Foundations to comply with NZS 3604 2011 Section 7, Floors.

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Client : Baghdad Investments Ltd.

Lot 9, Puddle Alley, Mosgiel.

Lot# : DP Subdiv', 2012/14 742.4m2.

Project : PROPOSED NEW RESIDENCE

Wind Zone : A/Very High

E'quake Zone : Zone 1, D&E

Scale @ A3.

Sheet Description:

DETAILS

Sheet Number:

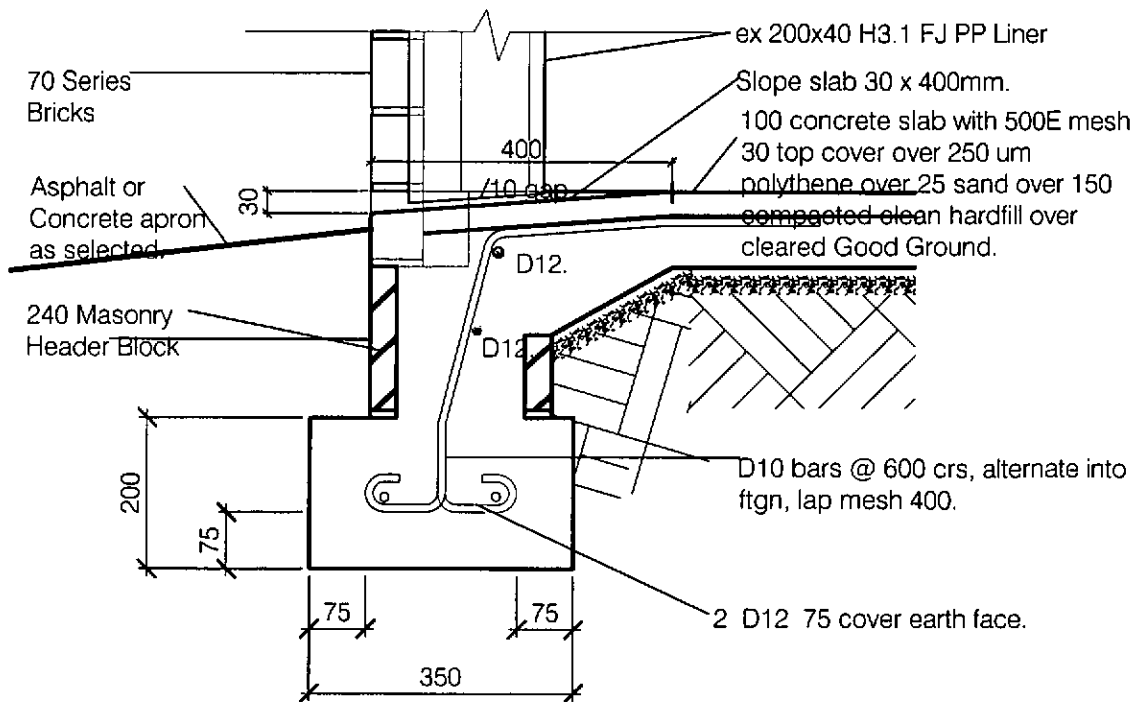
A-09

Date:

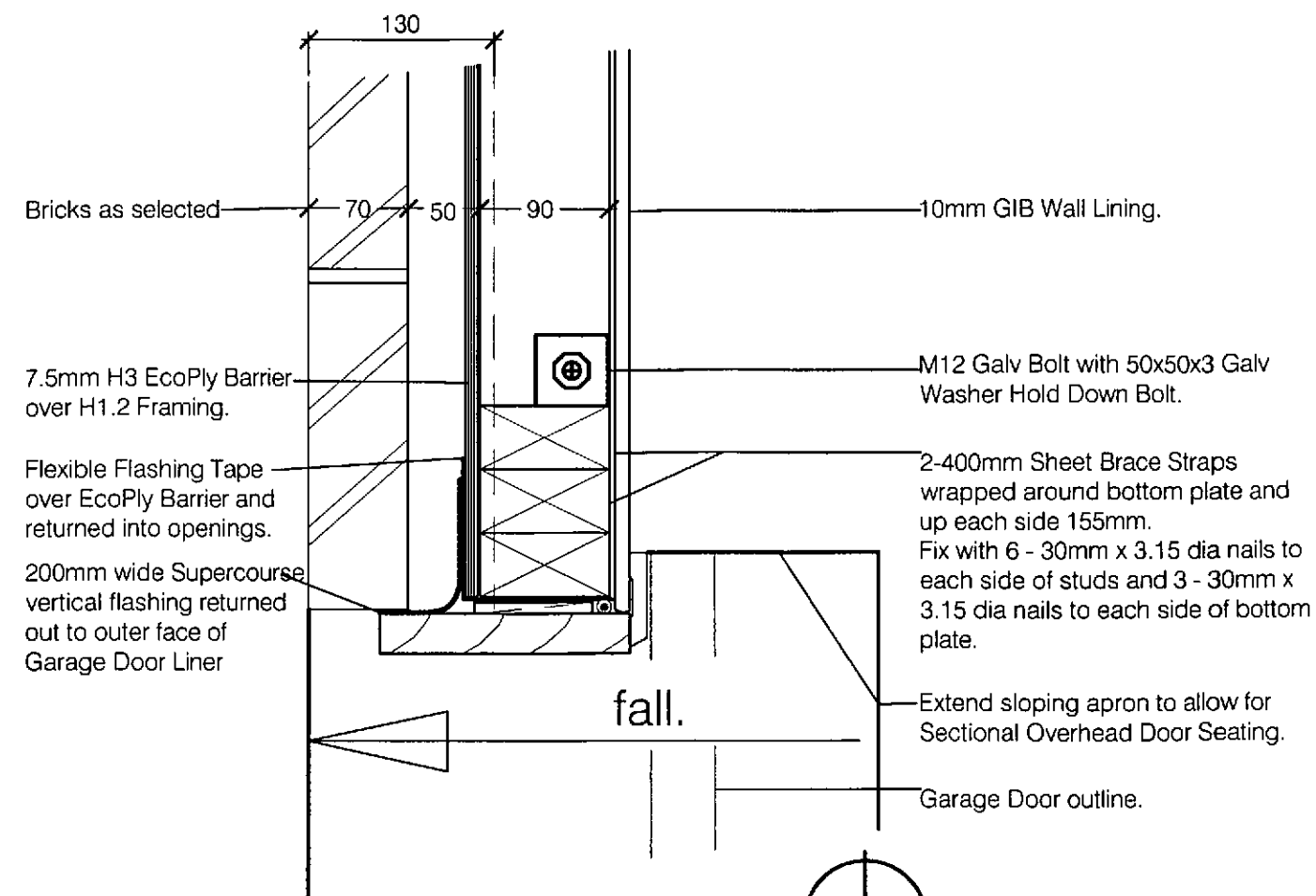
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Project #.

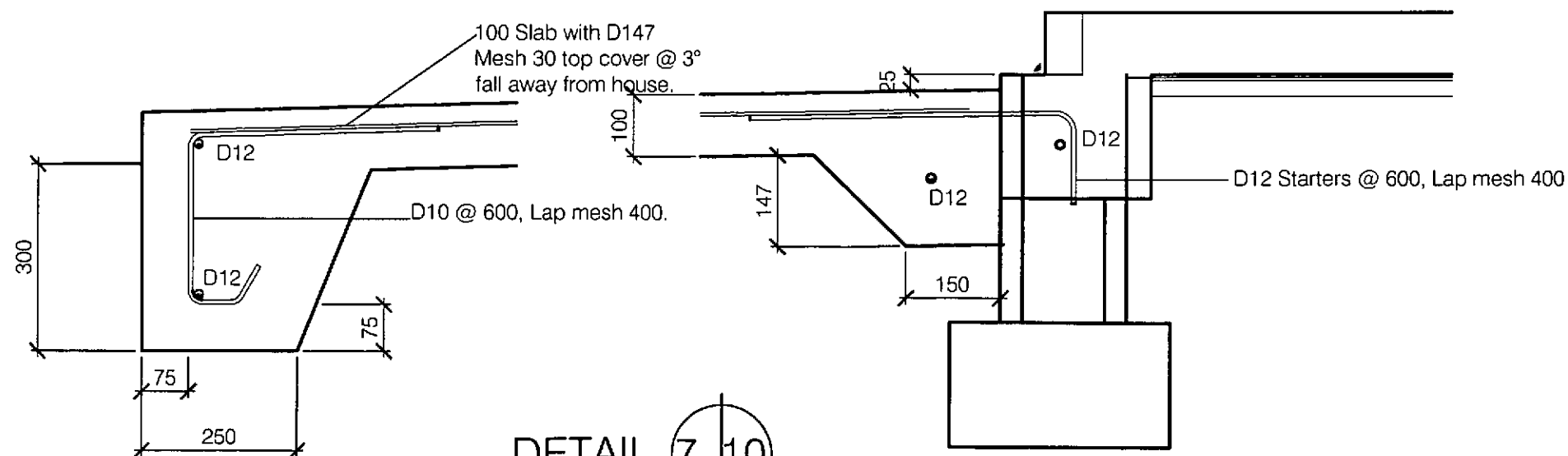
2113/03/14



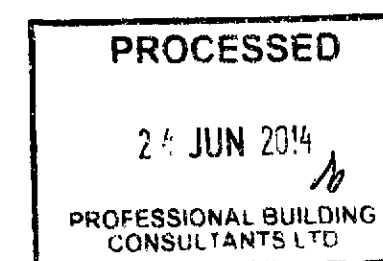
DETAIL 5/10  
Garage Door Entry Detail 1:10 A-10



Brick / Garage Door Jamb Detail 1:5 A-10



DETAIL 7/10  
Entry Slab connection to House Ftgns 1:10 A-10



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DUNEDIN CITY COUNCIL  
BUILDING CONSENT DOCUMENT

2014 : 857

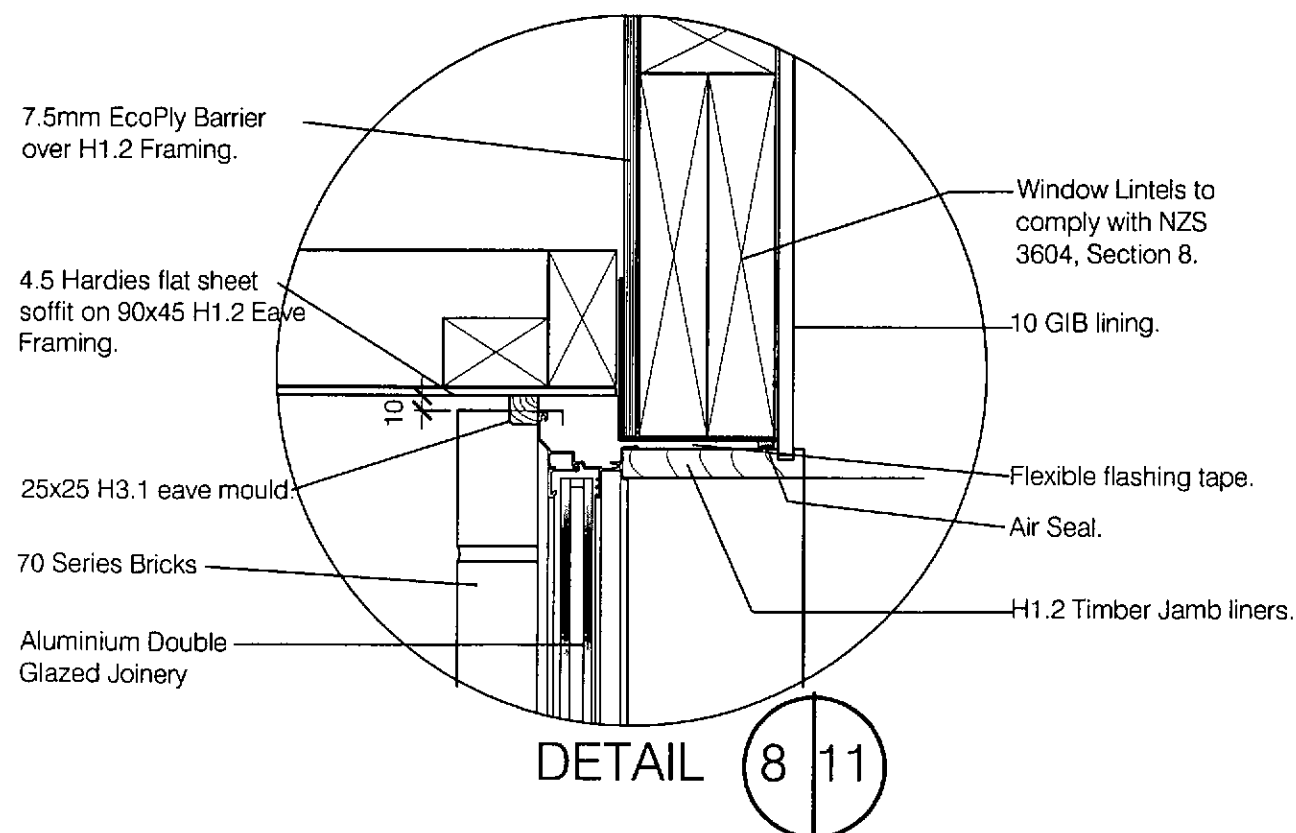
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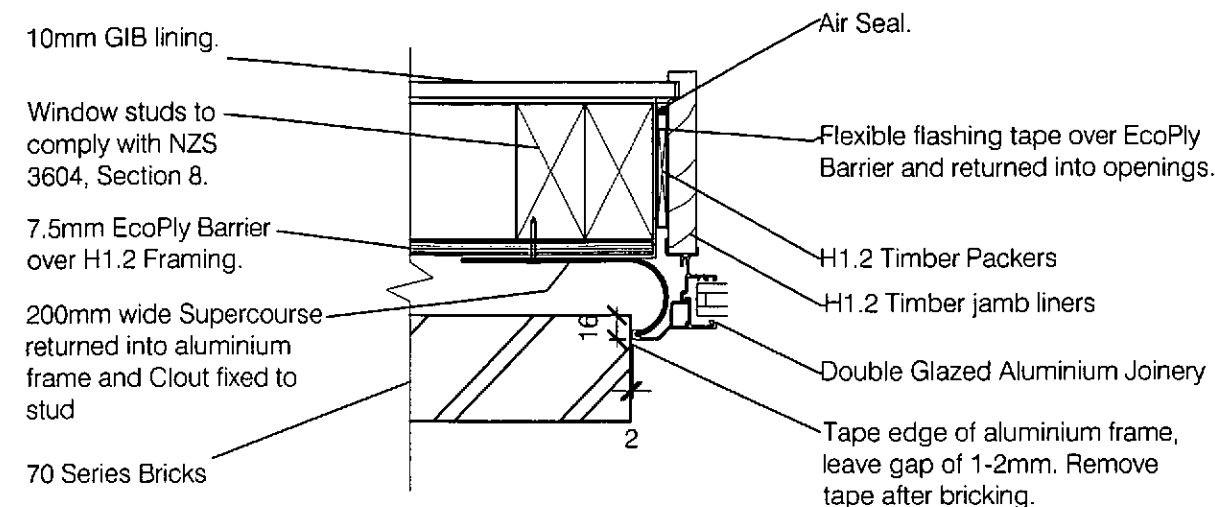
Client : Baghdad Investments Ltd.  
Lot 9, Puddle Alley, Mosgiel.  
Lot# : DP Subdiv, 2012/14 742.4m2.  
Project : PROPOSED NEW RESIDENCE

Wind Zone : A/Very High  
E'quake Zone : Zone 1, D&E  
Scale @ A3.  
Sheet Description: DETAILS

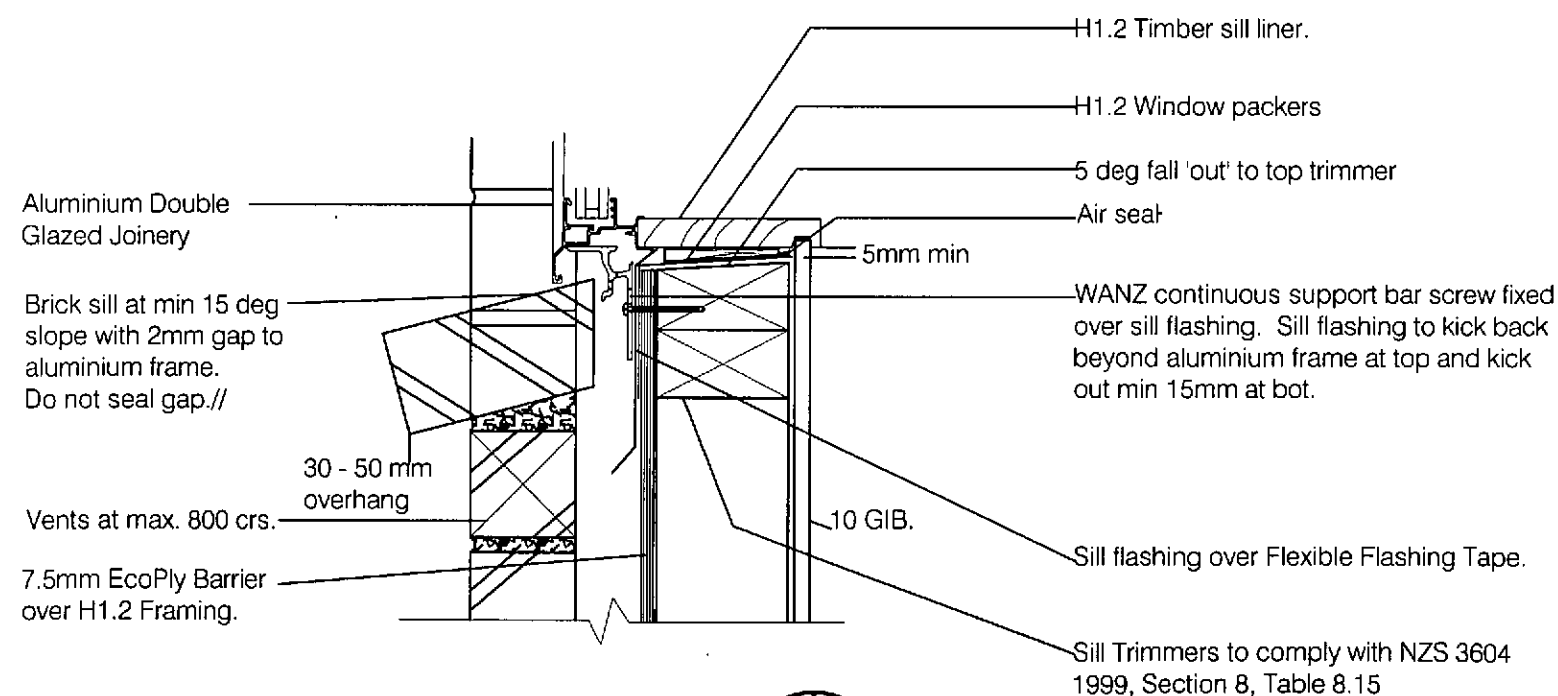
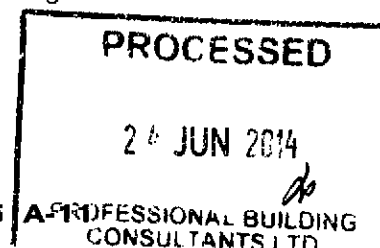
Sheet Number: **A-10**  
Date: MAY 2014  
Project #: **2113/03/14**



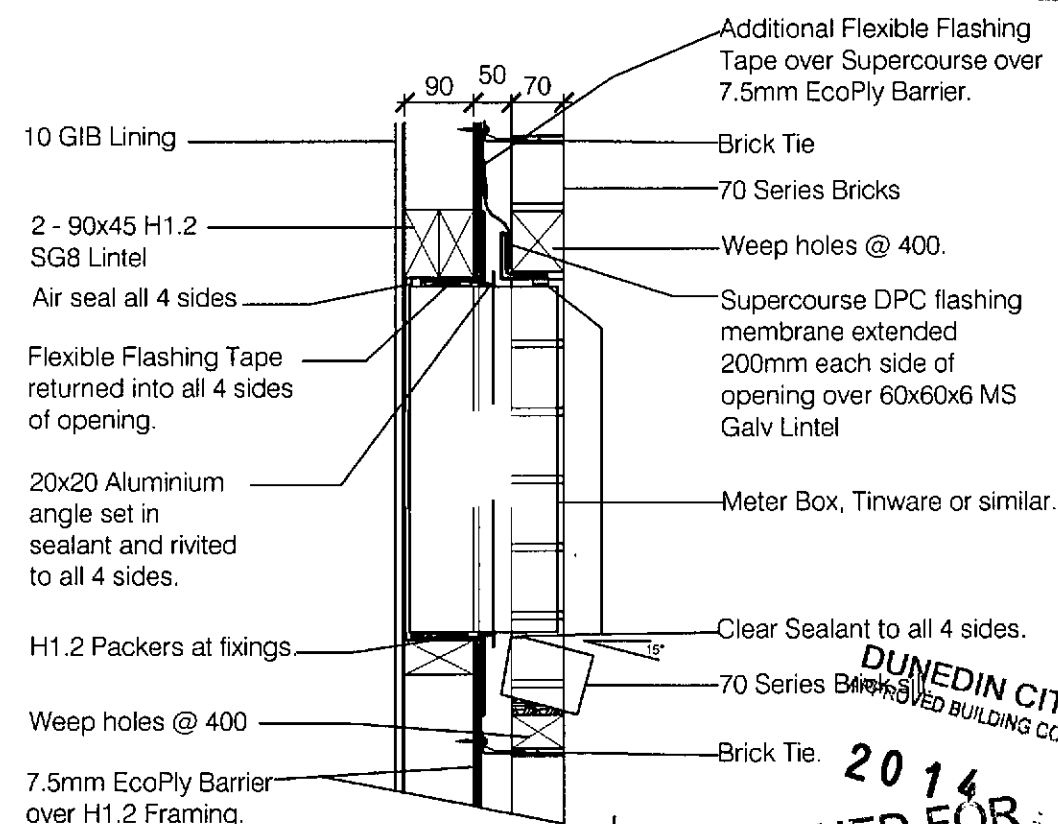
**Brick Window / Door Head Detail 1:5 A-11**



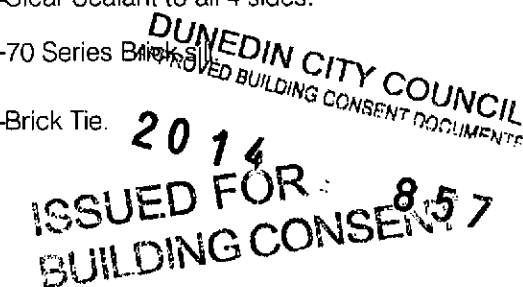
**DETAIL 9 11**  
**Brick Window / Door Jamb Detail 1:5 A-11**



**DETAIL 10 11**  
**Brick Window Sill Detail 1:5 A-11**



**DETAIL 11 11**  
**Meter Box Section 1:10 A-11**



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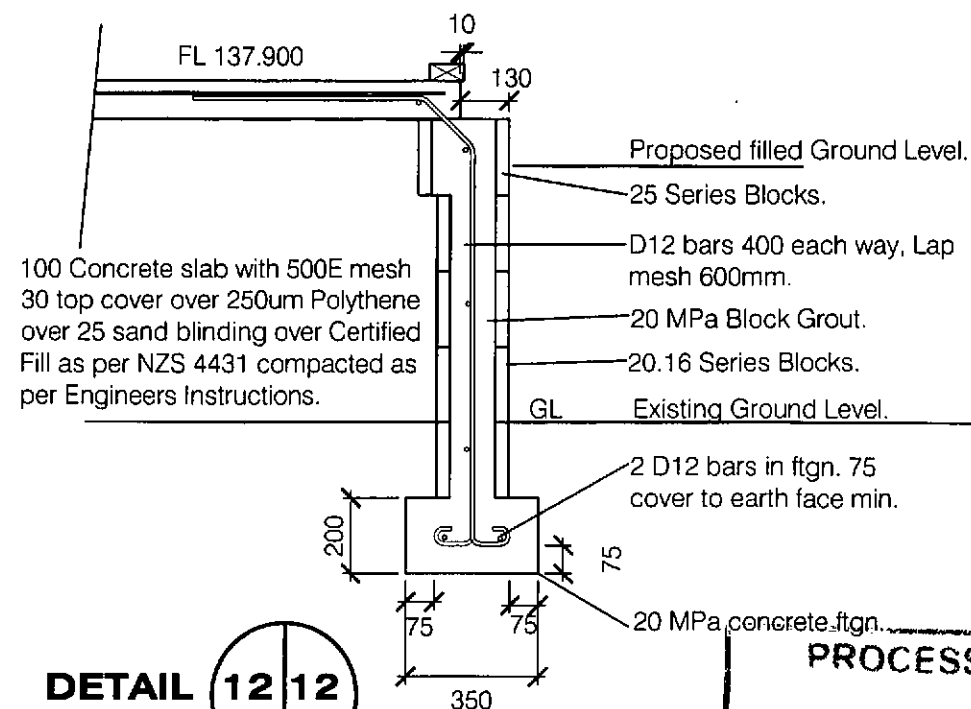
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Wind Zone : A/Very High  
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Scale @ A3.  
Sheet Description: DETAILS

Sheet Number: **A-11**  
Date: MAY 2014  
Project #: **2113/03/14**





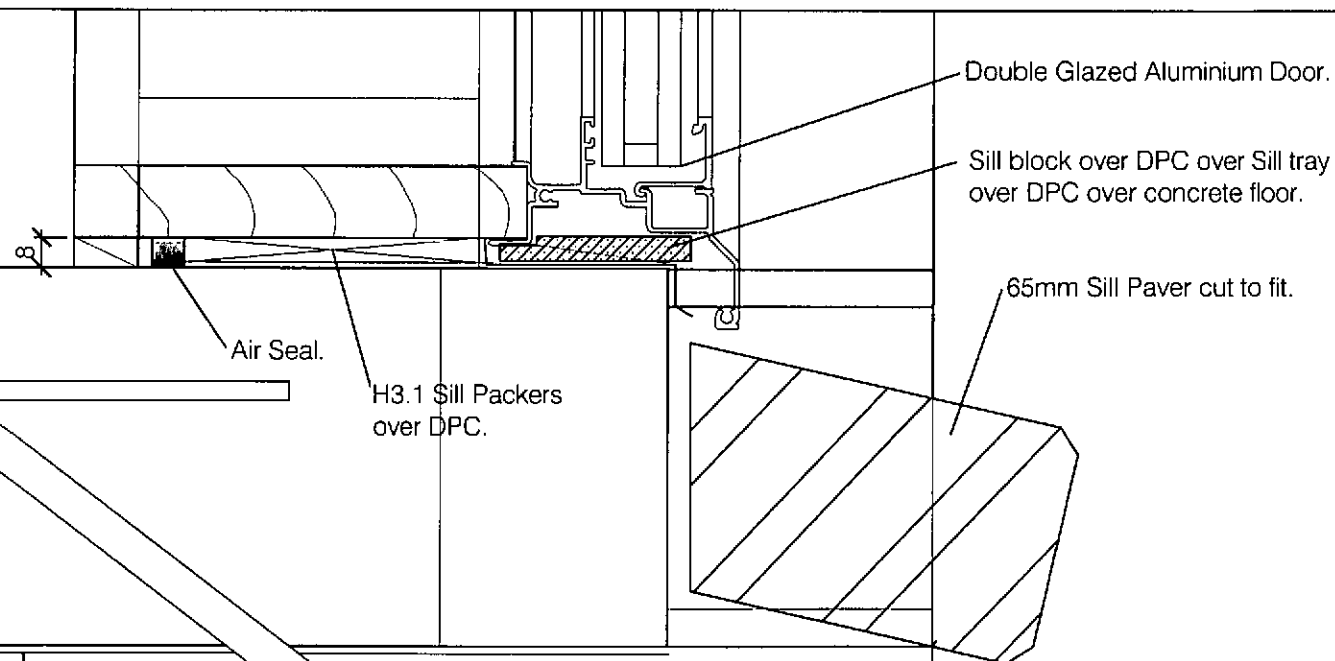
DETAIL 12/12

5 Blocks Foundation Detail 1:20 A-12

PROCESSED

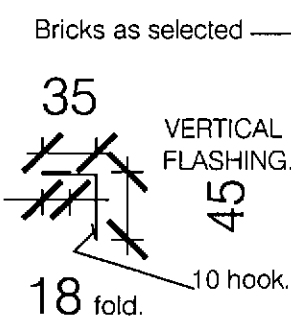
2 JUN 2014

PROFESSIONAL BUILDING CONSULTANTS LTD



DETAIL 13/07

Typical Door Sill Flashing Detail 1:2 A-12

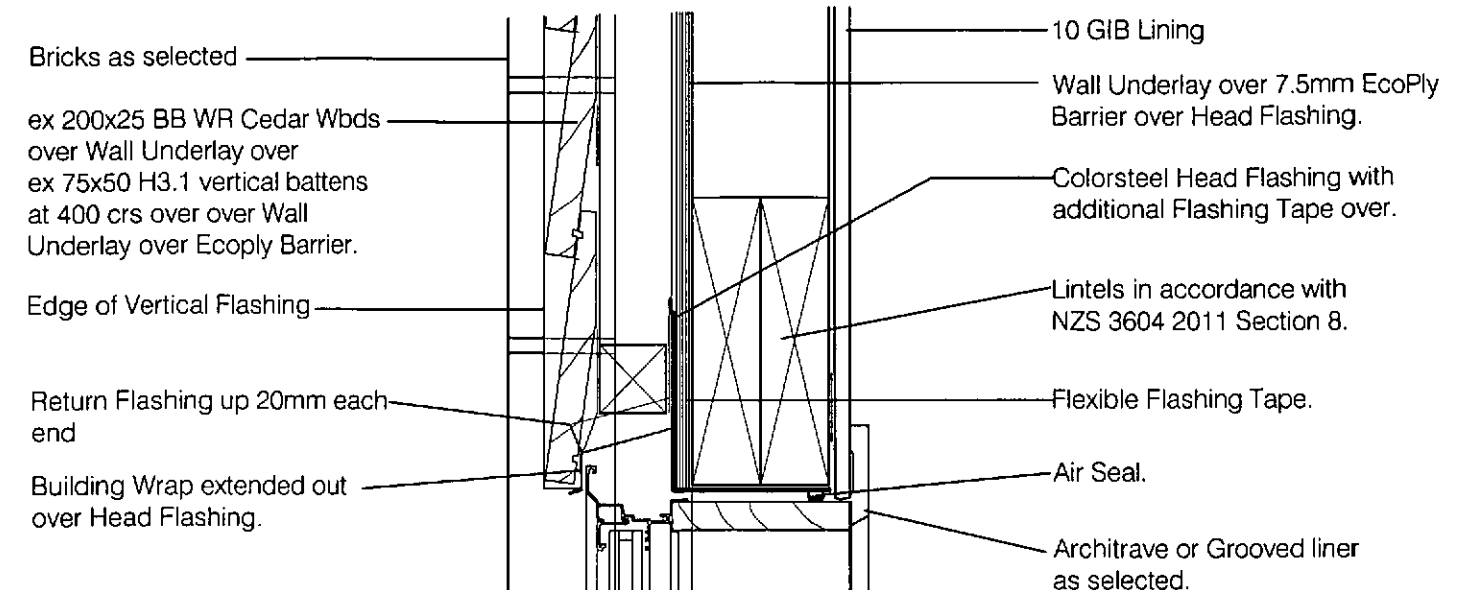


Bricks as selected  
ex 200x25 BB WR Cedar Wbds  
over Wall Underlay over  
ex 75x50 H3.1 vertical battens  
at 400 crs over over Wall  
Underlay over EcoPly Barrier

BRUNNEDIN CITY COUNCIL  
PROVIDED BUILDING CONSENT DOCUMENT

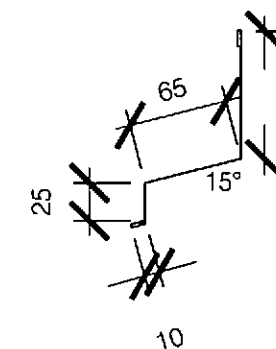
Brick / Weatherboard Vertical Flashing Detail 1:5 A-12

2014 857



DETAIL 14/12

Brick / Weatherboard Window / Door Head Detail 1:5 A-12



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www.houseplanz.co.nz

Client : Baghdad Investments Ltd.

Lot 9, Puddle Alley, Masgiel.

Lot# : DP Dubdiv', 2012/14 742.4m2.

Project : PROPOSED NEW RESIDENCE

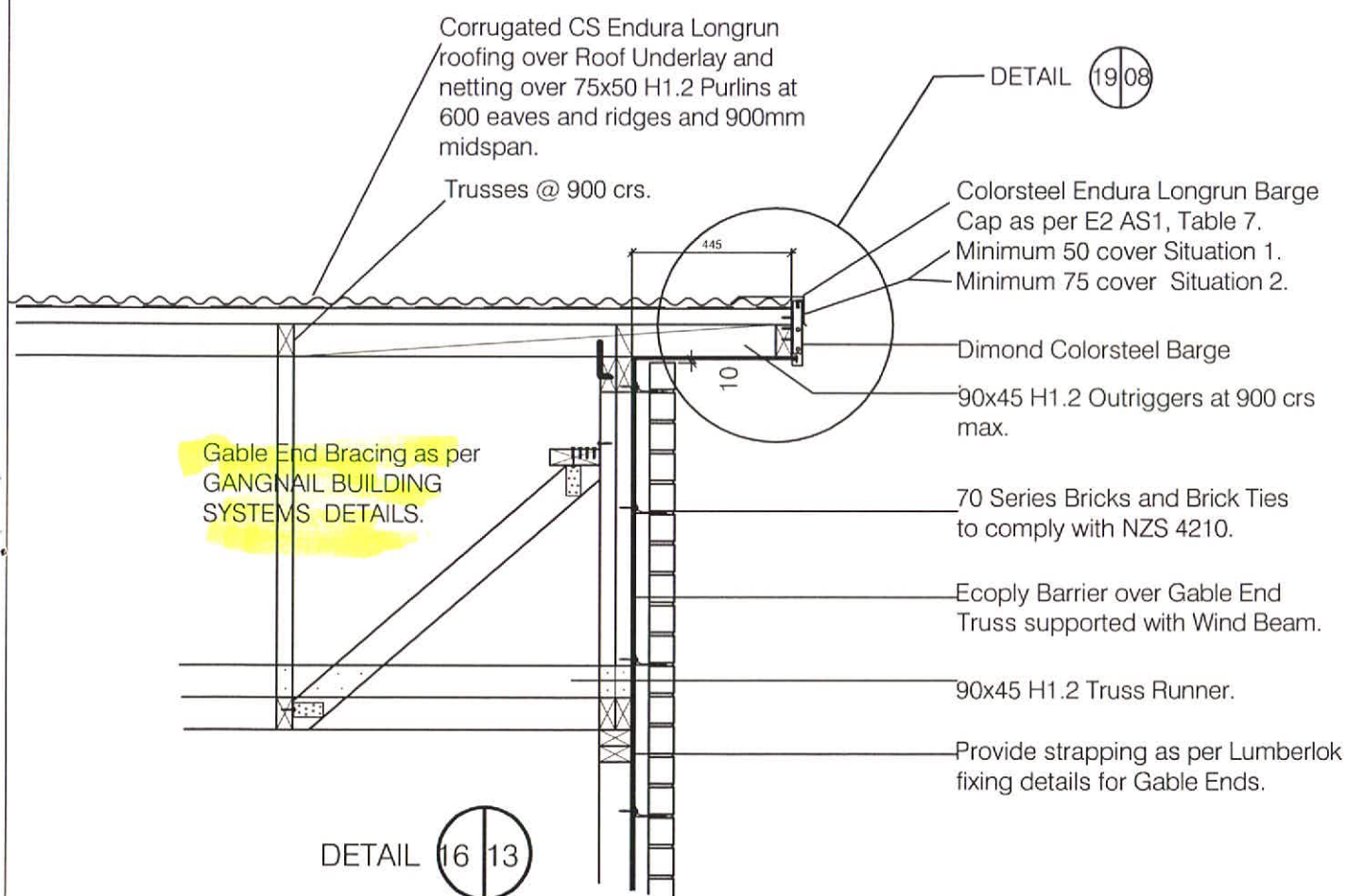
Wind Zone : A/Very High  
E'quake Zone : Zone 1, D&E  
Scale @ A3.

Sheet Description:  
DETAILS

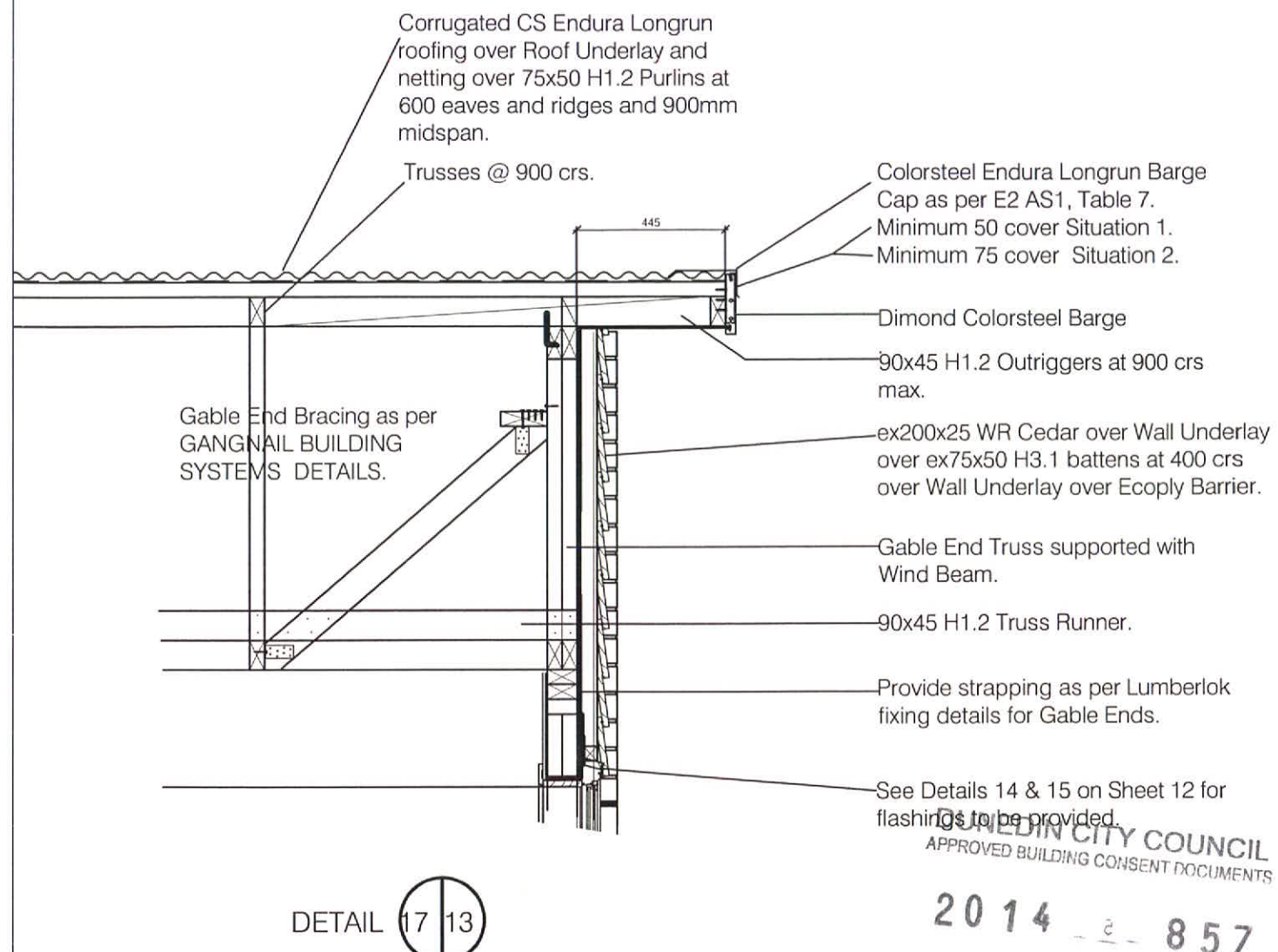
Sheet Number: **A-12**

Date: MAY 2014

Project #: **2113/03/14**



**Brick Gable End Section 1:20 A-13**



**Weatherboard Gable End Section 1:20 A-13**



ISSUED FOR  
BUILDING CONSENT

2014-08-57

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Sheet Description:  
DETAILS

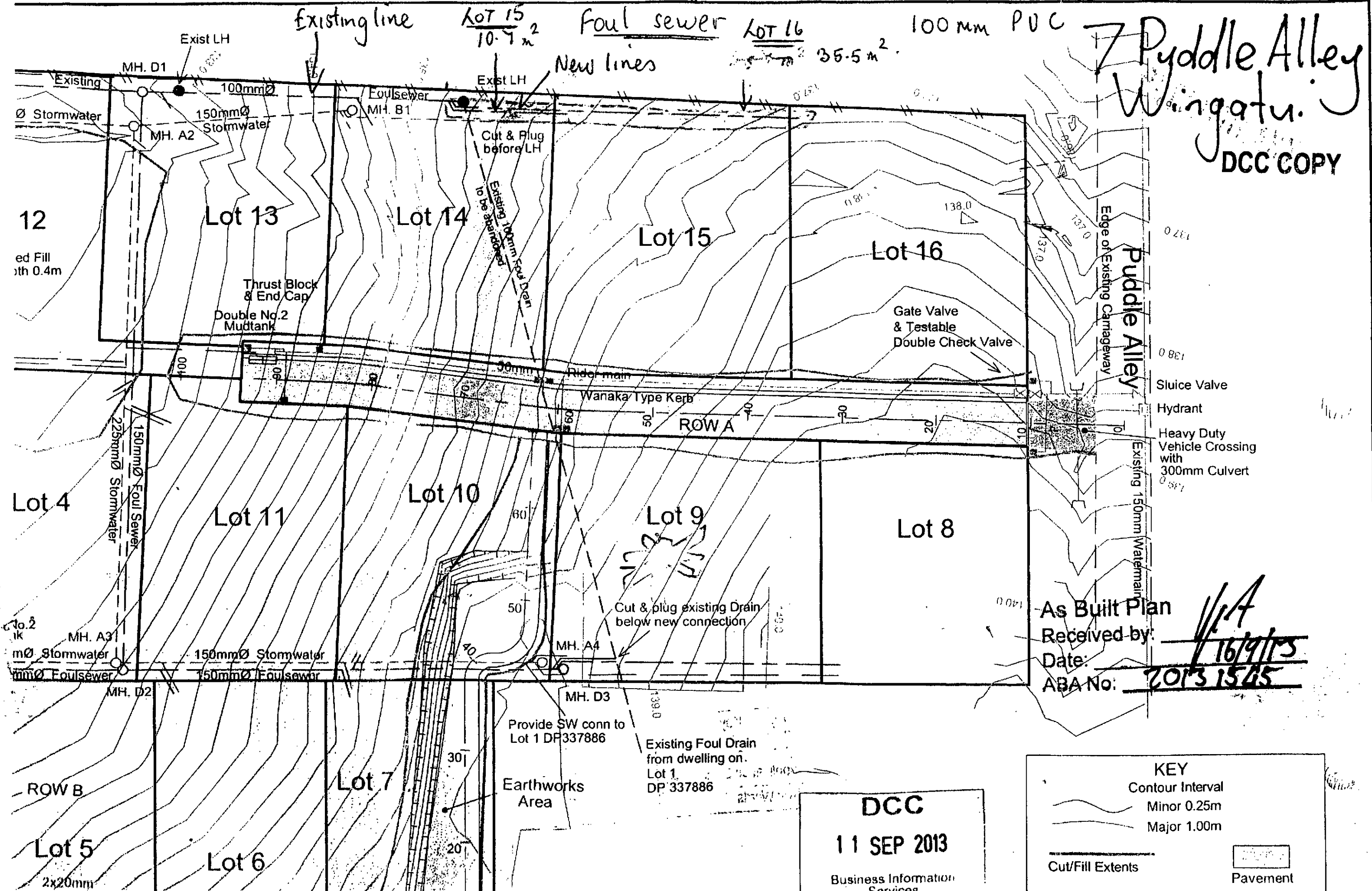
Sheet Number: **A-13**  
Date: MAY 2014  
Project #: **2113/03/14**

$$\frac{\text{Lot 15}}{10.7 \text{ m}^2}$$

Foul sewer LOT 16

100 mm PVC

7 Pyddle Alley  
Wingatui.  
DCC COPY



**As Built Plan**

Received by:

Date:

ABA No:

## KEY

Contour Interval

Minor 0.25m

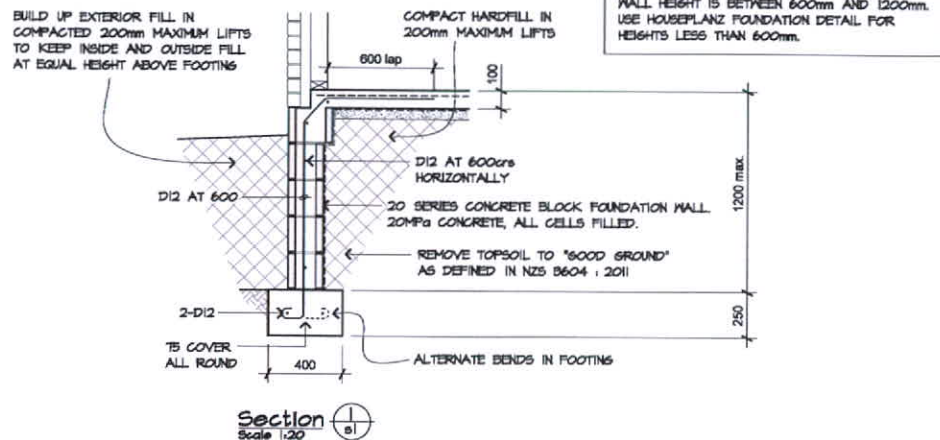
Major 1.00m

### Cut/Fill Extents

## Pavement

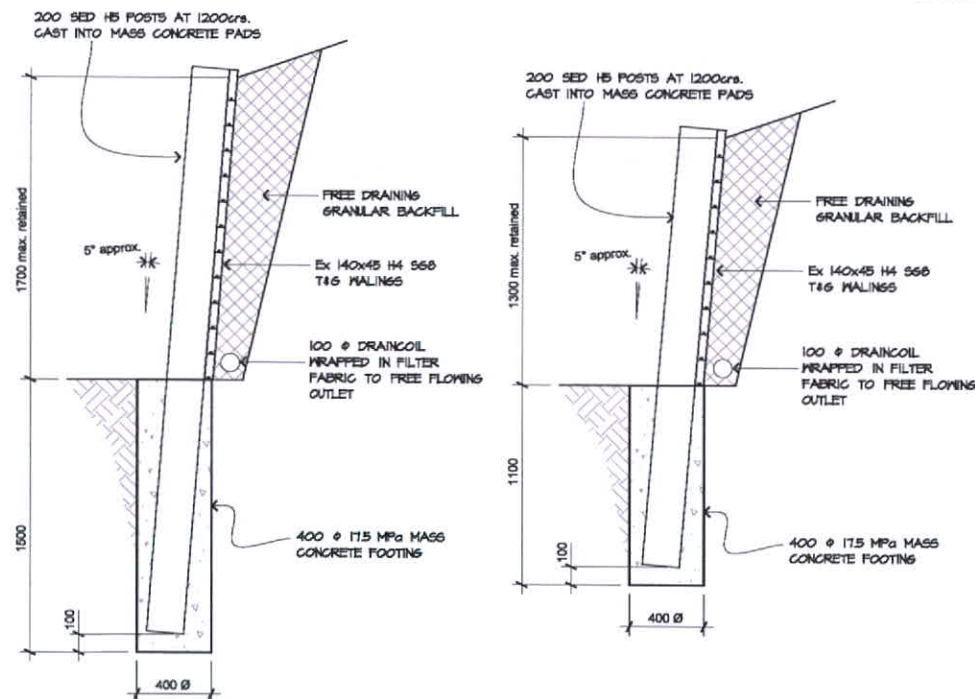


### VERIFY LAYOUT & DIMENSIONS WITH HOUSEPLANZ DRAWINGS

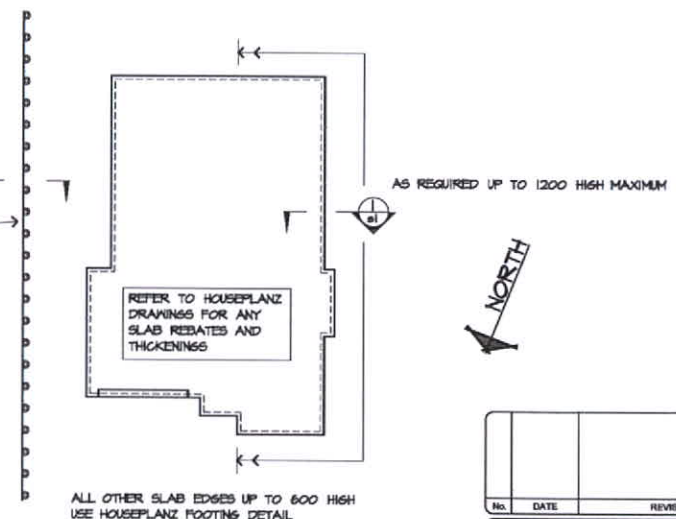


GENERAL NOTES:

CONCRETE CONSTRUCTION SHALL COMPLY WITH NZS 3104: 1991.  
CONCRETE STRENGTH EXCEPT WHERE NOTED OTHERWISE SHALL BE 20 MPa AT 28 DAYS.  
CONCRETE MASONRY SHALL COMPLY WITH NZS 4210: 2001. ALL CELLS OF CONCRETE BLOCKS SHALL BE FILLED (20 MPa) USING THE HIGH-LIFT GROUT METHOD.  
CONSOLIDATION AND RE-CONSOLIDATION SHALL BE BY CONCRETE VIBRATOR.  
REINFORCING SHALL COMPLY WITH AS / NZS 4671: 2001.  
H6 DENOTES 16mm DIAMETER, DEFORMED GRADE 300 REINFORCING MICRO ALLOY ONLY.  
D12 DENOTES 12mm DIAMETER, DEFORMED GRADE 300 REINFORCING.  
R10 AT 400S DENOTES 10mm DIAMETER PLAIN GRADE 300 REINFORCING AT 400 CENTRES.  
GRADE 300 QUENCHED & TEMPERED REINFORCING NOT TO BE USED.  
  
ALL REINFORCING BENDS SHALL BE BY PURPOSE BUILT TOOL OR TOOLS TO ACHIEVE BEND DIAMETERS SPECIFIED IN NZS 3104 : 1991.  
D10 = 40mm / D12 = 40mm / H2 = 60mm / H6 = 80mm / H20 = 100mm  
  
LAP LONGITUDINAL GRADE 300 FOUNDATION REINFORCING 10x BAR DIAMETERS  
LAP ALL OTHER GRADE 300 REINFORCING 50x BAR DIAMETERS WHERE CONVENIENT, BUT STAGGER LAPS. LAP WELD ENDS 800mm MINIMUM.  
  
TIEBAR CONSTRUCTION SHALL COMPLY WITH NZS 3604 : 2011.  
ALL TIEBARS INDICATED SHALL BE STRESS GRADE 5 (S56) UNLESS STATED OTHERWISE.



NEW TIMBER POLE RETAINING WALL  
SEE TYPICAL SECTIONS AT LEFT.



**SITE PLAN** 1:200

## TYPICAL RETAINING WALL SECTIONS

Received by: Jan R  
Date: 18-2-15  
ABA No: 2014-857

No.	DATE	REVISION
-----	------	----------

**HANLON & PARTNERS Ltd**  
CONSULTING STRUCTURAL & FIRE ENGINEERS  
Ph: (03) 477 7475 Email: [office@hanlons.co.nz](mailto:office@hanlons.co.nz)

### Foundation and Retaining Wall

Lot 9  
7A Puddle Alley  
WINGATUI

DESIGNED	L. Moß.	DATE	NOV 2014
DRAWN	JON INNES	SCALE	AS SHOWN AT A2
JOB No.	15410	SHEET NO.	S1
ISSUED	24/11/2014		



# BUILDING CONSENT


DCCBCA-F4-05-v3.0

Consent No:	ABA-2014-857/A	Telephone No:	03 477 4000
<b>APPLICANT</b>		<b>PROJECT</b>	
Baghdad Investments Limited 312 Chain Hills Road RD 1 Dunedin 9076		<b>Work Type:</b> Alterations/Repairs  <b>Intended Use/Description of Work:</b> Amendment - Install Bosca Firepoint 360 Woodburner	
<b>PROJECT LOCATION</b>		<b>Intended Life:</b> Indefinite, not less than 50 years.	
7A Puddle Alley Wingatui			
<b>LEGAL DESCRIPTION</b>		<b>Number of Units:</b> 0	
<b>Legal Description:</b> LOT 102 DP 463486		<b>Number of Levels:</b> 0	
<b>Valuation Roll No:</b> 27841-40815		<b>Estimated Value:</b> \$4500	
<b>Building Name:</b> N/A			

This building consent is issued under Section 51 of the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

A Compliance Schedule is not required as a result of the building work associated with this building consent.

**Signed for and on behalf of the Council:**

Name: 

Position: AUTHORISED OFFICER

Date: 30 January 2015

## Flue and flue shield installation

All Bosca fires must be installed with a flue system that complies with AS/ NZS2918:2001. We recommend the use of the Bosca flue system which does comply with standards and comes complete with installation instructions. A typical installation is shown below and at right. Note this is not an installation instruction and the instructions accompanying the flue kit should be followed at all times.

The Bosca flue shield must be used in all installations where the fire is installed against a combustible wall to the clearances listed above. If the wall behind the fire is a non-combustible ventilated surface as per AS/ NZS2918:2001 then clearances can be reduced and the flue shield is not required. Note that there are minimum clearances for the Limit380 and Spirit550 when installing near a non-combustible wall. These are noted above and in the installation instructions.

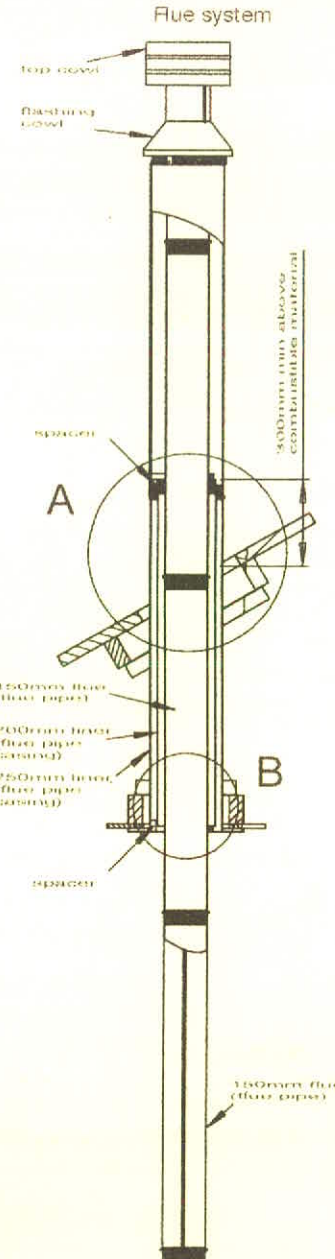
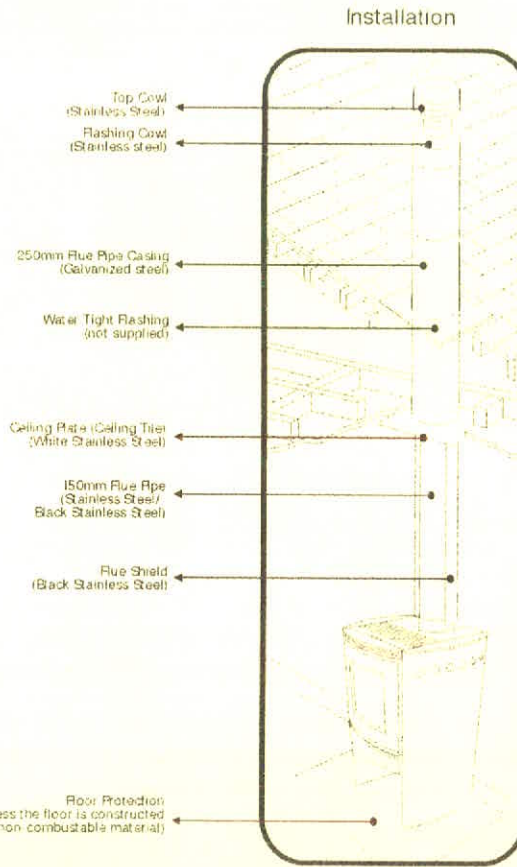
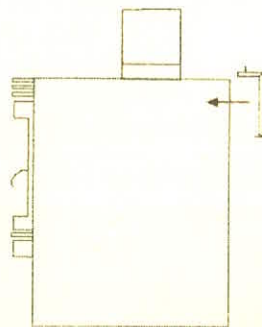
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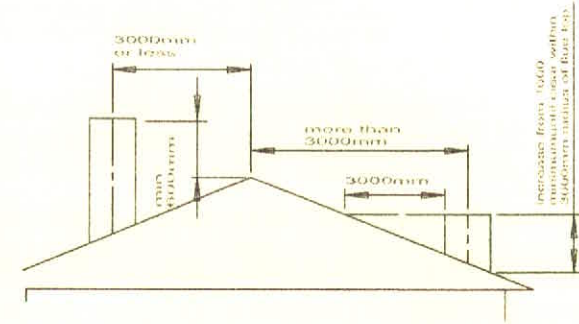
17 Carnforth St  
Green Island  
Dunedin

Website:  
www.bosca.co.nz

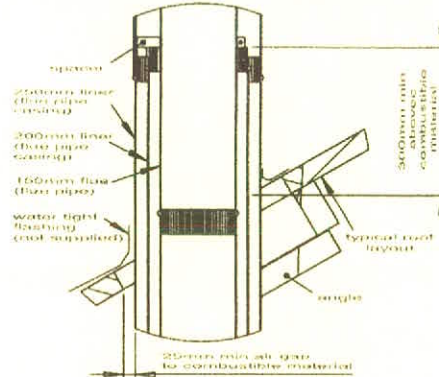
Rear heat shield



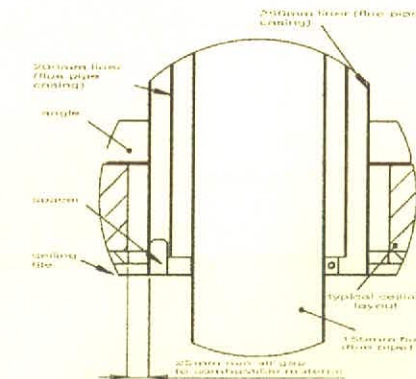
Minimum height of flue



Detail A: Typical roof penetration



Detail B: Typical ceiling layout



630191\_1

Amended Plan, ABA 2014 - 857/A

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DUNEDIN CITY COUNCIL  
2014-857/A  
APPROVED BUILDING CONSENT  
DOCUMENTS



**DCC COPY**

For freestanding heating appliance inspections, the ceiling plate shall be detached and safe access provided to the ceiling space.

If a wetback system is installed, safe access must be provided to the hot water cylinder and tempering device.



Plans and Specifications Approved in accordance  
with The New Zealand Building Code and Approved  
Documents. To be retained on works  
and produced on request.

Date \_\_\_\_\_

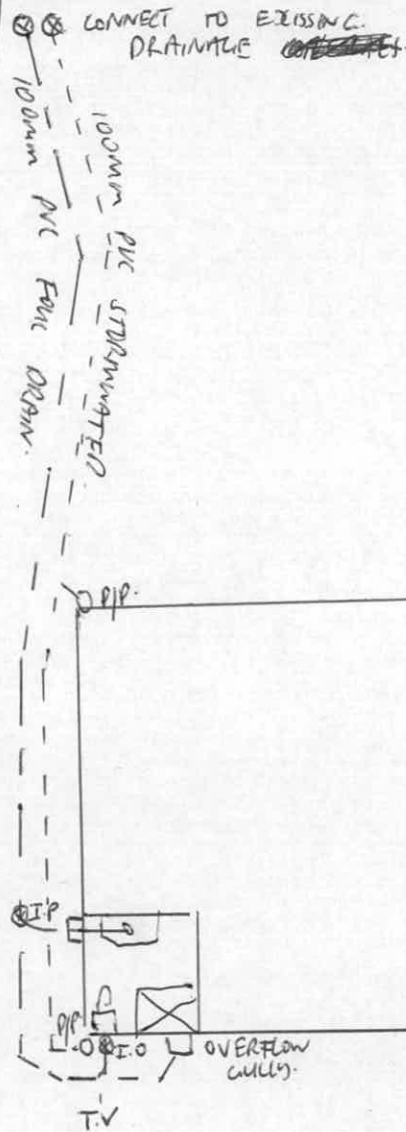
NOTE

DUNEDIN CITY COUNCIL  
2014-8571A  
APPROVED BUILDING CONSENT  
DOCUMENTS



As Built Drainage  
5 Puddle Alley.

AS BUILT PLAN  
Received by: Paul K...  
Date: 12-9-2016  
ABA No: 2014-290



# Drainage Plan for 5 Puddle Alley

5 PEOPLE ALLEG. AS BUILT DRAINAGE PLANS.

**Reference:** RMA 2004-0126 / 5067690 & 5109898  
**Enquiries to:** Marc Bretherton  
**Direct phone:** 474 3404

18 March 2004

Peter Williams  
Land Development Surveys Ltd  
PO Box 3  
**MOSGIEL**

Dear Peter,

**RESOURCE CONSENT APPLICATION: RMA 2004-0126**  
**301 GLADSTONE ROAD**  
**WINGATUI**  
**DUNEDIN**

Your application for resource consent to undertake a two lot subdivision at 301 Wingatui Road was processed on a non-notified basis in accordance with section 93 and 94 of the Resource Management Act 1991. A Council Senior Planner – Consents considered the application under delegated authority on 18 March 2004.

I advise that the Council has **granted** consent to the application. The full text of the decision commences on page 5. The consent must be given effect to within five years, in accordance with section 125 of the Resource Management Act.

### **DESCRIPTION OF ACTIVITY**

The applicant seeks resource consent to undertake a two lot subdivision on the subject site at 301 Gladstone Road, Wingatui, Dunedin. The site is a gently sloping corner site falling away from the corner of Gladstone and Puddle Alley, and has a total area of 1.32ha and is legally described as Lot 1 DP 22544 & Part Section 2 Block I East Taieri Survey District (CT OT14C/1111).

The proposal is to create two freehold allotments. Lot 1 is a front (corner) site of 0.20ha and contains an existing dwelling which is currently used as a residential care facility, garage and parking area. Lot 2 is 1.12ha and also has frontages and access to both Gladstone Road and Puddle Alley. There is a small cottage and a stable on this lot.

### **REASONS FOR APPLICATION**

#### **Transitional District Plan**

The Proposed District Plan provisions for the Residential 1 Zone are now beyond challenge. The site is not subject to a designation in the Transitional District Plan. Section 19 of the Resource Management Act as amended in 2003 has the effect of making the relevant provisions of the Proposed District Plan operative and therefore negating the need to further consider the Transitional District Plan in this instance.

#### **Proposed District Plan**

The subject site is zoned Residential 1 by the Dunedin City Proposed District Plan (1999).

Both of the resultant sites proposed by the subdivision application comply with the minimum area and frontage requirements of the Residential 1 zone as stipulated by Rule 18.5.1(iv)(a). The subdivision proposal is therefore considered to be a **restricted discretionary activity** pursuant to Rule 18.5.1.

#### **Planning Status**

Overall, the proposal is considered to be a **restricted discretionary activity**.

## EFFECTS ASSESSMENT

### Affected Persons

No persons are considered to be adversely affected by this proposal for those reasons outlined below in the section headed Effects on the Environment.

### Effects on the Environment

The following effects assessment only takes into account the effects of the proposal that are relevant under section 104 of the Resource Management Act. The Courts have determined that the effects of an activity on the environment should be considered in relation to the existing environment.

The following assessment of the actual and potential effects of the proposal on the environment has been prepared on the basis that the Residential 1 environment at Wingatui is characterised by properties of varying sizes which provide high amenity values. There is a mix of residential housing, small farm lots and commercial stables and horse training facilities. The area is characterised by established vegetation and few mature trees.

The proposal has been assessed using the relevant assessment matters of section 8.13 and 18.6 of the Proposed District Plan. Any actual or potential adverse effects on the environment of allowing this proposal to proceed will be no more than minor for the following reasons:

#### 1 Amenity Values and Character

The subdivision consent proposal is to create two residential lots that far exceed the Residential 1 density requirements. In this respect the effects of the activity on the amenity values and the character of the area have largely been anticipated by the zoning of the site.

The Residential 1 zone at Wingatui is characterised by sites of varying sizes, large yards and low site coverage. It is considered that the proposed subdivision will have a less than minor adverse effect on the amenity values and character of the wider area.

#### 2. Water & Waste Services

The Technical Engineer, Water & Waste Services has considered this proposal. His comments are as follows:

*Consent is sought from Council for the creation of two Lots from an existing certificate of title.*

*In regard to foul drainage and stormwater drainage both new Lots have existing dwellings on site which are fully serviced. The existing building on New Lot Two is served for water by way of a 20mm service. The existing building on new Lot One has an existing metered water supply. If this metered supply is still required then a backflow prevention device is to be fitted.*

#### ***Conditions of Consent***

*1. A backflow prevention device is to be fitted on the metered water supply serving New Lot One.*

*2. Easements for all private drainage are to be reserved as required.*

#### 3. Hazards

Council's geo-technical consultants, Montgomery Watson Harza NZ Ltd have assessed this application, and



have no records of hazards on the site.

#### 4. Transportation Planning

The Technical Engineer, Transportation Planning, has visited the site and considered the application. Her comments follow:

*I have visited the site and considered the above subdivision consent application to create two lots at 301 Gladstone Road North, Mosgiel.*

*The subject site is zoned **Residential 1** in the Dunedin City Council Proposed District Plan (PDP). Gladstone Road North is a **Collector Road** in the PDP Rooding hierarchy.*

*Lot 1 will contain the existing residential dwelling. This lot will have frontage to both Gladstone Road North and Puddle Alley. The property has two existing driveways. One is to the garage and the other to a parking area. Both driveways are hard surfaced and have appropriate vehicle crossings.*

*Lot 2 will contain the existing farm buildings and a small cottage. This lot will also have legal frontage to Gladstone Road North and Puddle Alley. There is currently only one driveway onto the lot. This driveway appears to be used for farm access and only has a gravel surface. It is unclear from the application how parking will be provided for the cottage. Previously there was sufficient parking on the site next to the house to provide for the cottage. As a result of the subdivision all of this parking will no longer be available for the cottage.*

*The PDP requires every property containing a residential unit to provide adequate parking on site and a vehicle access to serve it. In this case there should be one parking space provided on the site and the access to it must be hard surfaced in accordance with the Transportation section of the PDP. As these are requirements under the PDP they do not need to be placed on the consent as conditions. However, Transportation Planning considers that these two particular requirements should be flagged to the applicant and monitored along with the conditions of consent. In this instance I have highlighted these requirements by an advice note.*

#### **CONCLUSION**

*Transportation Planning considers the effects of the proposal to be less than minor and requires no conditions to be attached to the resource consent if granted.*

*However, the following advice note should be attached:*

- 1. To comply with the transportation requirements of the PDP one parking space must be provided on Lot 2 for use by the residential unit. Any access to this parking space is required to be hard surfaced from the edge of the seal for at least 5.0 metres inside the property boundary. If a new vehicle entrance (portion of driveway between the seal and the boundary) is required it must be built to the Council's standard. The Council's Rooding department must be contacted to determine the appropriate standard.*

#### 5. Reserves Contribution

A reserves contribution has not been charged for this subdivision as dwellings already exist on both of the proposed lots. If the proposed Lot 2 is further subdivided at some point in the future, an appropriate reserves contribution will be levied at that time.

#### 6. Permitted Baseline

The Courts have determined that the effects of an activity on the environment should be considered in relation to the 'permitted baseline'. That is, an application must be assessed in relation to the existing environment and development that could take place on the site as of right, without a resource consent, but excluding development that is fanciful.

Pre-subdivision, the applicant is entitled as of right to residential activity at a density of not less than 500m<sup>2</sup> of site area per residential unit. While a resource consent is required in order to subdivide, the proposal easily meets the minimum density and frontage requirements for two residential units, and therefore sits comfortably against the permitted baseline.

## 7. Overall Assessment of the Effects of the Environment

Taking into consideration the effects of the proposal on residential values and character, the effects of the proposed subdivision are considered to be no more than minor.

## **CONSENT DECISION**

*That pursuant to section 34A(1) and 104C and after having regard to Part II matters and section 104 of the Resource Management Act 1991, the Dunedin City Council **grants** consent to a **restricted discretionary** activity being the subdivision of the existing site into two lots at 301 Gladstone Road, Wingatui, Dunedin, being the site legally described as Lot 1 DP 22544 & Part Section 2 Block I East Taieri Survey District (CT OT14C/1111), subject to the following conditions imposed under section 108 & 220 of the Act:*

1. *That the proposed activity shall be given effect to generally in accordance with Land Development Surveys Ltd plans entitled 'Lots 1 & 2 being subdivision of Lot 1 DP 22544 & Pt Sec 2 Block I East Taieri Survey District' and dated December 2003 and the information submitted as part of application RMA 2004-0126 received by Council on the 25 February 2004.*
2. *Prior to certification of the survey plan pursuant to section 223 of the Resource Management Act 1991, the applicant shall ensure:*
  - (a) *Reserve easements for all private drainage and water services as required.*
3. *Prior to certification pursuant to section 224(c) of the Resource Management Act 1991, the applicant shall complete the following:*
  - (a) *A backflow prevention device is to be fitted on the metered water supply serving New Lot One.*

## **ADVICE NOTE**

1. *In addition to the conditions of a resource consent, the Resource Management Act establishes through Section 16 and 17 a duty for all persons to avoid unreasonable noise, and to avoid, remedy or mitigate any adverse effects created from an activity they undertake. A similar responsibility exists under the Health Act 1956.*
2. *To comply with the transportation requirements of the PDP one parking space must be provided on Lot 2 for use by the residential unit. Any access to this parking space is required to be hard surfaced from the edge of the seal for at least 5.0 metres inside the property boundary. If a new vehicle entrance (portion of driveway between the seal and the boundary) is required it must be built to the Council's standard. The Council's Roading department must be contacted to determine the appropriate standard.*

## **REASONS**

### **Effects**

In accordance with section 104 of the Resource Management Act 1991, the actual and potential adverse effects associated with the proposed activity have been assessed and are outlined above. It is considered that the proposed activity will have no more than minor adverse effects on the environment.

## **District Plan – Objectives and Policies**

In accordance with section 104 of the Resource Management Act 1991, the objectives and policies of the Proposed District Plan were taken into account in assessing the application.

## **Dunedin City Proposed District Plan (1999),**

With regard to the Proposed Plan the proposal is considered to be consistent with the following objectives and policies:

- **Objective 18.2.1 and Policy 18.3.7 (Subdivision Section):** seek to ensure that subdivision activity is sustainable and meets the reasonably foreseeable needs of current and future development.
- **Objective 4.2.1 and Policy 4.3.1 (Sustainability Section):** Promote the enhancement and maintenance of the amenity values of Dunedin.
- **Objective 8.2.1 and Policy 8.3.1 (Residential Section)** seek to ensure that the adverse effects of activities in residential areas are avoided, remedied or mitigated.
- In the assessment of this application, and in addition to the matters contained within the Fourth Schedule, the provisions referred to in **Sections 8.13 (Residential) and 18.6 (Subdivision)** have been given regard to. The proposal is considered to be generally consistent with the provisions referred to in the following sections: Sustainability, Manawhenua, Hazards and Hazardous Substances, Trees and Transportation. The proposal has also been assessed against the Anticipated Environmental Results of section 8.14 and 18.6 and sits comfortably against these.

## **Part II Matters**

The proposed activity has also been assessed in terms of Part II matters of the Resource Management Act 1991. For the reasons outlined above, the proposed activity is considered consistent with section 5(2)(c); “Avoiding, remedying, or mitigating any adverse effects of activities on the environment”, section 7(c) “The maintenance and enhancement of amenity values” and section 7(f) “The maintenance and enhancement of the quality of the environment.”

## **COMPLIANCE WITH CONDITIONS**

It is the applicant’s responsibility to comply with any conditions imposed on this resource consent prior to and during (as applicable) exercising the resource consent. Failure to comply with the conditions may result in prosecution, the penalties for which are outlined in section 339 of the Resource Management Act 1991.

## **DURATION OF CONSENT**

This consent shall expire after a period of five (5) years from the date of this decision unless the consent has been given effect to during this time. This period may be extended on application to the Council pursuant to Section 125 of the Resource Management Act 1991.

## **BUILDING CONSENT**

This is a resource consent. A building consent may be required before any work is undertaken on the site. Please check with the Building Control Office, Development Services to establish whether or a not a building consent is required.

## **RIGHTS OF OBJECTION**

In accordance with section 357 of the Resource Management Act 1991, the consent holder may object to this decision or any condition within 15 working days of the decision being received, by applying in writing to the Dunedin City Council at the following address:

The Chief Executive



Reference:

Dunedin City Council  
P O Box 5045  
DUNEDIN

Attn: Senior Planner – Enquiries 1<sup>st</sup> Floor

Yours sincerely

Marc Bretherton  
**PLANNER**

25 October 2024

Baghdad Investments Limited  
C/O Mark Wylie, Paterson Pitts Group  
PO Box 5933  
Moray Place  
Dunedin 9058

Dear Mark,

**RESOURCE CONSENT APPLICATION:           LUC-2013-66**  
**5 PUDDLE ALLEY**  
**WINGATUI**

Your application for land use consent to undertake earthworks at the above site was processed on a non-notified basis in accordance with sections 95A to 95F of the Resource Management Act 1991. In considering sections 95A to 95F, it was determined that any adverse effects would be no more than minor, there were no potentially affected parties to the application, and that there were no special circumstances in relation to the proposal. Therefore, public notification of the application was not required. The application was considered by a Senior Planner – Consents, under delegated authority, on 12 March 2013.

I advise that the Council has **granted** consent to the application. The decision is outlined below, and the decision certificate is attached to this letter.

#### **DESCRIPTION OF ACTIVITY**

The applicant has applied to undertake earthworks at the site located at 5 Puddle Alley, Wingatui. The earthworks are required for the construction of right-of-ways and two building platforms associated with a 15 residential allotment subdivision that was granted consent in 2012, being SUB-2012-14/A.

SUB-2012-14/A was a variation to SUB-2012-14, whereby variations were made to the 15-lot subdivision so it was in two stages, and alterations were made to access arrangements. The existing subdivision and land use consents did not address earthworks associated with the development of the new lots or the access. As outlined in the application documents prepared by Paterson Pitts, the following earthworks volumes are proposed:

- A volume of 1,000m<sup>3</sup> of excavations will be undertaken to allow the construction of the right-of-ways, and building platforms on Lots 7 & 10.
- 280m<sup>3</sup> of excavated material will be used to fill a depression on the area bounded by Lots 3,4 and 12 over an area of approximately 700m<sup>2</sup>.
- The excavations will cover approximately 20% of the site's area, and have a maximum depth of 1.65m.

The subject site has frontage to both Puddle Alley and Gladstone Road North. Topography of the site is gently sloping downwards towards the rear, northwest corner. The subject site is

legally described as Lot 2 Deposited Plan 337886, held in Computer Freehold Register 155822, and has an area of 1.1496ha.

## **REASONS FOR APPLICATION**

The subject site is zoned **Residential 1** in the District Plan. The general area is shown on the Hazards Register as **2007- Earthquake, 2015 – Flooding** and **2020 – Alluvial Fan**. There are no designations applicable to this application.

The proposed earthworks do not comply with either Rule 17.7.3(ii) Scale Thresholds or Rule 17.7.4(iii). As such, the proposal is assessed as a **restricted discretionary activity**, pursuant to Rule 17.7.5 (ii).

The Council's discretion under this rule is restricted to:

- (a) Adverse effects on the amenity of neighbouring properties.
- (b) Effects on visual amenity and landscape.
- (c) Effects on any archaeological site and/or any cultural site.
- (d) Effects on the transportation network, caused by the transport of excavated material or fill.
- (e) Effects from the release of sediment beyond site boundaries, including transport of sediment by stormwater systems.
- (f) Cumulative effects relating to any of these matters.

As the earthworks were not granted an earthworks permit prior to 1 July 2010 and do not form part of a project that was granted building consent on or after 1 July 2010, the Council's discretion will also extend to the following matters:

- (g) Design and engineering of retaining structures and earthworks.
- (h) Effects on the stability of land and buildings.
- (i) Effects on the surface flow of water and on flood risk.
- (j) Effects on underground utilities.

In assessing these effects, the Council will have regard to the matters in 17.8.1 to 17.8.6.

## **PLANNING ASSESSMENT**

### **Affected Persons**

No affected persons forms were submitted with the application. No person or party is considered to be adversely affected by the activity. This is because the environmental effects of the proposal are internalised within the site boundaries.

### **Effects on the Environment**

The following assessment of effects on the environment has been carried out in accordance with section 104(1) of the Resource Management Act 1991. It addresses those assessment matters listed in Rules 17.8 of the District Plan considered relevant to the proposed activity, and is carried out on the basis that the environment is characterised by scattered medium to low density residential activity within a wider rural environment. The land immediately to the west of the subject site is the Wingatui Racecourse.

Any actual or potential effects on the environment of allowing this proposal to proceed will be no more than minor for the following reasons:

#### **1 *Effects on Stability and Sedimentation Effects (Assessment Matter 17.8.1 and 17.8.6), Design and engineering of retaining structures and earthworks and the effect on the stability of land and buildings (Assessment Matter 17.8.1 and 17.8.6)***

The application has been assessed by the Council's Consultant Engineer who also assessed the original subdivision proposal.



With respect to the earthworks associated with the current proposal, Council's Consultant Engineer has stated the following:

**Hazards**

*Hazards are as per the original email above.*

*Based on new information from the ORC the site has also been identified as being within an alluvial fan. The ORC identifies the area as active floodwater dominant however based on the topography of the area we do not think this is a hazard as such. However the presence of alluvial fan debris may result in uncertain and variable ground conditions throughout the site.*

**Global Setting: Topography and Geology**

*Based on the geological maps of Dunedin the majority of the site will be within the alluvial Taieri Plains which is consistent with the alluvial fan hazard noted above.*

**Discussion**

*We have not reiterated any of the discussion [with regards to their comments for SUB-2012-14/A and LUC-2012-67]....and see no reason to change our opinions. In addition we have the following comments concerning the proposed excavation and filling operations:*

- The excavations and permanent cut slopes seem sensible but without geotechnical investigations to prove materials, the slope angles could be considered optimistic. In addition the plans note that later on a retaining structure maybe constructed within those cut batters*
- On drawing sheet 1 there is the previously mentioned fill site covering the majority of lot 12 and parts of lots 3 and 4. On the drawing this is noted as being uncertified fill which raises the question have these activities already been completed? The fill covers most of Lot 12 which brings into question whether there is a suitable building platform within the site. Poor or nonexistent control of fill can lead to excessive settlement or differential settlement of building foundations if the purchaser is not aware of its presence.*

**Conclusion**

*In general we see no reason to decline the proposed earthworks for this stage of works, the following should be made conditions of consent:*

- All excavations shall be supervised by a suitably qualified individual.*
- All fill shall be designed supervised and constructed by a suitably qualified individual.*

*In light of the potential for the construction of retaining structures, the following should be included as an advice note:*

- All walls retaining over 1.5m, or a surcharge / slope, including terracing, require design, specification and supervision by appropriately qualified person/s*
- Earthworks close to boundaries may require consent from neighbouring landowners.*

Based on the assessment above, and assuming compliance with the conditions of this consent, and those associated with SUB-2012-14/A and LUC-2012-67, it is considered that the earthworks will have a no more than minor effect on site stability.

It is noted that the decision for SUB-2012-14/A and LUC-2012-67 required the consent holder to prepare and submit an Erosion and Sediment Control Management Plan (ESCMP) to the Water and Waste Services Business Unit for approval prior to any earthworks commencing. The ESCMP should be amended (if required) to reflect and accommodate the expanded nature of the earthworks works.

## **2 Effects on the surface flow of water and on flood risk.**

At the time of the original subdivision, Council's Consulting Engineer advised that the Otago Regional Council Lower Taieri Floodplain hazards (September 2006) identifies the property to be within zone I where, '*... existing protection is provided to a 100 year (1% AEP) flood level, and floors are to be set 200mm above flood level.*' This 200mm flood level relates to local ponding, and any new dwelling should be set 200mm above any known local ponding area.

The proposed works are not considered to result in any additional surface flow or flooding effects not considered as part of SUB-2012-14/A and LUC-2012-67, as such, no further assessment is required as part of this application. Notwithstanding this, the conditions of the previous consent shall continue to apply.

## **3 Effects on Neighbours (Assessment Matter 17.8.2)**

The proposed earthworks are associated with an approved subdivision in a residential zone, and are therefore, anticipated within this zone. The earthworks will be contained within the subject site. The earthworks will largely result in cuts, with only a small area of fill over part of Lots 3, 4 and 12. The maximum depth of fill is indicated as 400mm, thereby not significantly elevating the existing ground level, thereby, reducing the effect of the development on the neighbours rather than increasing the impact.

It is expected that there will be noise effects associated with the construction of any development. In regard to the proposed construction activity, this shall be limited to the times set out below and shall comply with the following noise limits as per New Zealand Standard NZS 6803:1999:

<b>Time of Week</b>	<b>Time Period</b>	<b>Leq (dBA)</b>	<b>L max(dBA)</b>
Weekdays	0730-1800	75	90
	1800-2000	70	85
	2000-0630	45	75
Saturdays	0730-1800	75	90
	1800-2000	45	75
	2000-0630	45	75
Sundays and public Holidays	0730-1800	55	85
	1800-2000	45	75
	2000-0630	45	75

The discharge of dust is not permitted to cause a nuisance and falls under the jurisdiction of the Otago Regional Council. An advice note has been attached to this consent instructing the developer to dampen any loose soil to prevent dust escaping from the property boundary. In regard to vibration, the applicant is advised to inform his neighbours of the timing and scale of the proposed works, prior to any works being undertaken.

Overall, I consider that the development of the site is associated with the future establishment of residential activity on the site, and is to be expected within this zone. Provided conditions of consent are adhered to and advice notes followed, I consider that the effects on the neighbours will be no more than minor.

## **4 Effects on Archaeological and Cultural Sites (Assessment Matter 17.8.4)**

There is no indication that the site has any archaeological and cultural significance. That said it is considered prudent to attach an accidental discovery advice note to the consent to ensure that should an item of interest be uncovered during the works, proper protocol will be followed.

## **5 Effects on the Transportation Network (Assessment Matter 17.8.5)**

The proposed earthworks are to be contained within the site. While there will be a number of truck movements associated with the earthworks, these are to be expected with a land development project of this scale, however it is unlikely to have a more than minor effect on the transportation network.

## **6 National Standard on Soil Contamination (NES)**

The National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011 (NES) applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken, or is more likely than not to have been undertaken.

The subject site is not currently used for Residential Activity and has previously been used for purposes associated with the horse racing industry. The applicant placed a Site Contamination Status request with the Otago Regional Council, which concluded 'there are no identified land uses associated with the above site'. A review of Dunedin City Council's electronic database also indicated that 'no hazards relating to contamination or industrial processes are highlighted for this site'. The NES identifies in Regulation 6 that there are two methods for determining whether the NES is applicable to the proposed earthworks in association with a proposed Residential Activity:

1. A review of the most up to date Council records
2. A Preliminary Site Investigation (PSI)

As outlined in the application documents, while absolute evidence has not been provided to confirm that no contamination exists on the site, a review of the most up to date Council records, and that fact that the parent allotment was used activities associated with the horse racing industry, indicate that contaminants are unlikely. As such, it is considered that the proposed earthworks are not subject to the NES in this instance.

## **CONSENT DECISION**

*That, pursuant to sections 34A(1), 104 and 104C of the Resource Management Act 1991, the Dunedin City Council **grants** consent to a **discretionary (restricted)** activity to undertake earthworks on the site at 5 Puddle Alley, Wingatui, legally described as Lot 2 Deposited Plan 337886 (Computer Freehold Register 155822), subject to the conditions imposed under section 108 of the Act, as shown on the attached certificate.*

## **REASONS**

### **Effects**

In accordance with section 104(1)(a) of the Resource Management Act 1991, the actual and potential adverse effects associated with the proposed activities have been assessed and outlined above. It is considered that the proposal will have no more than minor adverse effects on the environment.

### **District Plan – Objectives and Policies**

In accordance with section 104(1)(b) of the Resource Management Act 1991, the objectives and policies of the District Plan were taken into account when assessing the application. The proposal is considered to be consistent with the following objectives and policies:

- **Objective 4.2.1 and Policy 4.3.1 (Sustainability Section)** that seek to enhance and maintain the amenity values of the Dunedin area.
- **Objective 8.2.1 and Policy 8.3.1 (Residential Section)** that seek to ensure the adverse effects on the amenity values and character of residential areas are avoided remedied or mitigated.



- **Objective 17.2.3 and Policy 17.3.9 (Earthworks Section)** that seek to control the location and scale of earthworks and to ensure that earthworks are undertaken in a manner that is safe and in a manner that minimises adverse effects on the environment.

The proposal is also considered to be consistent with the anticipated environmental results of Section 17.9, for the reasons outlined under the heading 'Effects on the Environment' above.

## **RIGHTS OF OBJECTION**

In accordance with section 357A of the Resource Management Act 1991, the consent holder may object to this decision or any condition within 15 working days of the decision being received, by applying in writing to the Dunedin City Council at the following address:

The Chief Executive  
Dunedin City Council  
PO Box 5045  
Moray Place  
Dunedin 9058

**Attention:** Senior Planner - Enquiries 1<sup>st</sup> Floor

Yours faithfully

Hamish Osborne  
**Planner**

**Consent Type:** Land Use Consent

**Consent Number:** LUC-2013-66

Pursuant to sections 34A(1), 104 and 104C of the Resource Management Act 1991, the Dunedin City Council **grants** consent to a **discretionary (restricted)** activity to undertake earthworks on the site at 5 Puddle Alley, Wingatui, legally described as Lot 2 Deposited Plan 337886 (Computer Freehold Register 155822), subject to the conditions imposed under section 108 of the Act.

Location of Activity: 5 Puddle Alley, Wingatui.

Legal Description: Lot 2 Deposited Plan 337886 (Computer Freehold Register 155822)

Lapse Date: 12 March 2018, unless the consent has been given effect to before this date.

**Conditions:**

- 1 *The proposed activity shall be undertaken in general accordance with the site plan, elevations and the information provided with the resource consent application, received by the Council on 21 February 2013 except where modified by the following conditions of consent.*
- 2 *Cartage of surplus excavated soil from the site should be to an approved clean fill site being a site where dumping of fill is permitted or authorised by a resource consent. The Contractor shall be advised accordingly.*
- 3 *The conditions of SUB-2012-14/A shall continue to apply to all works carried out under this consent. Notwithstanding that the ESCMP required by Conditions SUB-2012-14/A (6) shall be modified (if required) to reflect the earthworks proposed as part of this consent.*
- 4 *All excavations shall be supervised by a suitably qualified individual.*
- 5 *All fill shall be designed supervised and constructed by a suitably qualified individual.*

**Advice Notes:**

- 1 In addition to the conditions of a resource consent, the Resource Management Act 1991 establishes through sections 16 and 17 a duty for all persons to avoid unreasonable noise, and to avoid, remedy or mitigate any adverse effect created from an activity they undertake.
- 2 Resource consents are not personal property. This consent attaches to the land to which it relates, and consequently the ability to exercise this consent is not restricted to the party who applied and/or paid for the consent application.
- 3 The lapse period specified above may be extended on application to the Council pursuant to section 125 of the Resource Management Act 1991.
- 4 It is the responsibility of any party exercising this consent to comply with any conditions imposed on the resource consent prior to and during (as applicable) exercising the resource consent. Failure to comply with the conditions may result in prosecution, the penalties for which are outlined in section 339 of the Resource Management Act 1991.
- 5 This is a resource consent. Please contact the Council's Building Control Office, Development Services, about the building consent requirements for the work.
- 6 Neighbouring property owners should be advised of the proposed works at least seven days prior to the works commencing.

- 7 All measures (including dampening of loose soil) should be undertaken to ensure that dust, resulting from the proposed earthworks, does not escape the property boundary.
- 8 Where there is a risk that sediment may enter a watercourse at any stage during the earthworks, it is advised that the Otago Regional Council be consulted before works commence, to determine if the discharge of sediment will enter any watercourse and what level of treatment and/or discharge permit, if any, may be required.
- 9 In light of the potential for the construction of retaining structures, the consent holder is advised that all walls retaining over 1.5m, or a surcharge / slope, including terracing, require design, specification and supervision by appropriately qualified person/s
- 10 All construction noise should comply with the following noise limits as per New Zealand Standard NZS 6803:1999:

Time of Week	Time Period	Leq (dBA)	L max(dBA)
Weekdays	0730-1800	75	90
	1800-2000	70	85
	2000-0630	45	75
Saturdays	0730-1800	75	90
	1800-2000	45	75
	2000-0630	45	75
Sundays and public Holidays	0730-1800	55	85
	1800-2000	45	75
	2000-0630	45	75

11 If the consent holder:

- (a) discovers koiwi tangata (human skeletal remains), waahi taoka (resources of importance), waahi tapu (places or features of special significance) or other Maori artefact material, the consent holder should without delay:

- (i) notify the Consent Authority, Tangata whenua and New Zealand Historic Places Trust and in the case of skeletal remains, the New Zealand Police.
- (ii) stop work within the immediate vicinity of the discovery to allow a site inspection by the New Zealand Historic Places Trust and the appropriate runanga and their advisors, who shall determine whether the discovery is likely to be extensive, if a thorough site investigation is required, and whether an Archaeological Authority is required.

Any koiwi tangata discovered should be handled and removed by tribal elders responsible for the tikanga (custom) appropriate to its removal or preservation.

Site work should recommence following consultation with the Consent Authority, the New Zealand Historic Places Trust, Tangata whenua, and in the case of skeletal remains, the New Zealand Police, provided that any relevant statutory permissions have been obtained.

- (b) discovers any feature or archaeological material that predates 1900, or heritage material, or disturbs a previously unidentified archaeological or heritage site, the consent holder should without delay:

- (i) stop work within the immediate vicinity of the discovery or disturbance; and
- (ii) advise the Consent Authority, the New Zealand Historic Places Trust, and in the case of Maori features or materials, the Tangata whenua, and if required, should make an application for an Archaeological Authority pursuant to the Historic Places Act 1993; and
- (iii) arrange for a suitably qualified archaeologist to undertake a survey of the site.

Site work should recommence following consultation with the Consent Authority.



Issued at Dunedin this 12<sup>th</sup> day of March 2013.

Hamish Osborne  
**Planner**

**PATERSONPITTS GROUP**  
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**Engineering Design for No.5 Puddle Alley - Wingatui**  
**General Layout**

Purpose	Version	Date	Drawn by:	Job No.
Engineering Approval	1	Feb 2013	MSW	13872
			Orig. Scale	Orig. Paper Size
			1: 500	A3
			Sheet Number:	1 of 11

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Engineering Approval	1	Feb 2013	MSW	13872
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			1: 500	A3
			Sheet Number:	1 of 11

10 April 2013

Baghdad Investments Ltd  
C/- PW Williams  
Paterson Pitts Partners Ltd  
PO Box 5933  
Dunedin 9054

Dear Peter

**RESOURCE CONSENT APPLICATION: SUB-2012-14/B  
S127 VARIATION OF SUB-2012-1/A  
5 PUDDLE ALLEY  
WINGATUI**

Your application to vary resource consent SUB-2012-14/A, lodged pursuant to section 127 of the Resource Management Act 1991, by staging the consent into four stages, was processed on a non-notified basis in accordance with sections 95A to 95F of the Resource Management Act 1991. In considering sections 95A to 95 F of the Resource Management Act 1991, it was determined that any adverse effects would be no more than minor and that there were no special circumstances in relation to the proposal. The Council's Senior Planner considered the application under delegated authority on 10 April 2013.

I advise that the Council has **granted** the request for a change of conditions to the consent. The full text of the decision commences on the attached certificate.

**BACKGROUND TO APPLICATION**

Resource consent SUB-2012-14 for the subdivision of the land at 5 Puddle Alley into 15 residential lots, and land use LUC-2012-67 for bulk and location breaches of the existing house on proposed Lot 8, was issued on 15 March 2012. The subject site was an 'L' shaped site with frontage to both Puddle Alley and Gladstone Road North which intersect at 90° a short distance to the east of the subject site. Topography of the site is gently sloping downwards towards the rear, northwest corner. There is an existing dwelling and sheds at the Puddle Alley frontage. The subject site is legally described as Lot 2 Deposited Plan 337886, held in Computer Freehold Register 155822, and has an area of 1.1496ha.

The proposal was to create 15 residential lots and one access lot. Lot 1 would have been large enough for two residential units, and there was no 'Lot 2'. The subdivision consent was issued concurrently with land use consent LUC-2012-67 for bulk and location breaches of the existing house on new Lot 8.

The subdivision consent was subsequently varied on 15 August 2012 by staging the consent, creating an additional residential lot, and removing an access lot from the proposal. Land use consent LUC-2012-362 was issued at the same time for bulk and location breaches of proposed dwellings on new Lots 1 and 2.



## CURRENT APPLICATION

The applicant now seeks to undertake the subdivision in four stages rather than the two stages approved by SUB-2012-14/A. Stage 1 has actually been completed, and does not form part of this variation.

Stage 2 will subdivide Lot 101 into Lot 16 and a balance lot, Lot 102. Stage 3 will subdivide Lot 102 into Lots 9 to 15, and a balance lot, Lot 103, while Stage 4 will subdivide Lot 103 into Lots 1 to 7. There are no additional lots or house sites created as a result of the proposed variation.

## REASONS FOR APPLICATION

Section 127(1) of the Resource Management Act 1991 states:

*The holder of a resource consent may apply to a consent authority for a change or cancellation of a condition of the consent (other than any condition as to the duration of the consent).*

Section 127(3) of the Act states that "Sections 88 to 121 apply, with all necessary modifications as if –

- a) *the application were an application for a resource consent for a discretionary activity; and*
- b) *the references to a resource consent and to the activity were references only to the change or cancellation of a condition and the effects of the change or cancellation respectively.*

## Affected Persons

Section 127(4) of the Act states that "For the purposes of determining who is adversely affected by the change or cancellation, the local authority must consider, in particular, every person who –

- a) *made a submission on the original application; and*
- b) *may be affected by the change or cancellation."*

No affected person written approvals were submitted with the application for SUB-2012-14 or SUB-2012-14/A. No persons were considered to be adversely affected by this proposal for those reasons outlined below in the section headed Effects on the Environment.

## PLANNING ASSESSMENT

Stage 1 of SUB-2012-14/A was certified under section 224(c) of the Resource Management Act 1991 on 28 February 2013. The existing Stage 2 has not yet been certified pursuant to section 223 or 224(c). Accordingly, the Council is able to consider the application to vary Stage 2 into Stages 2, 3 and 4 under section 127(1)(a) of the Resource Management Act 1991.

As stated in section 127(3)(a) of the Resource Management Act 1991, the variation application is a **discretionary activity**.

## ASSESSMENT OF EFFECTS ON THE ENVIRONMENT

### Effects on the Environment

#### 1. Lot Size and Dimensions (18.6.1(q)) and Physical Limitations (18.6.1(k))

The proposed variation does not create any additional lots, or change the dimensions of any lot. The exercise is purely a staging of the consent to allow Lot 16, fronting Puddle Alley, to be created first. Lots 9 to 15 all share a common access, and will be

undertaken as Stage 3. The lots fronting Gladstone Road North and the reciprocal rights of way off this road, being Lots 1 to 7, will be subdivided last. These stages also coincide with the need for infrastructure installation to service the lots. The proposed staging of the consent is not expected to have any adverse effects on the neighbours or wider area as there is no real change occurring except for the timing of the work. The proposed staging of the consent will not create any additional effects over and above that already assessed as part of SUB-2012-14 and SUB-2012-14/A.

2. Easements (18.6.1(i))

There will be no changes to the easements needed for the proposed development, although there will be some variation to their timing. Stage 2 will create Lot 16 which has frontage to Puddle Alley and does not require any easements for access. An easement will be needed over the balance land to discharge foul sewage. Stage 3 will require reciprocal rights of way over the shared access and some service easements. A similar situation will arise with Stage 4. No additional easements will be created; it is merely the timing of their creation which will differ.

3. Infrastructure (18.6.2(d), (e), (i), (j), (n), (o), and (p))

The service requirements for the subdivision were fully assessed as part of SUB-2012-14 and SUB-2012-14/A, and do not change with this proposal. The application notes that Stage 2 requires minimal installation works for the servicing of this lot. The services for Lots 1 to 15 will all be installed at Stage 3 as there are financial benefits at doing the work all in one stage.

4. Transportation (18.6.1(c))

There are no new accesses to be created as a result of the variation. The application states that the access to Lots 9 to 15 has already been formed and metalled, and the likelihood is that the accesses to Lots 1 to 7 will be formed at Stage 3 when the bulk of the infrastructural works are undertaken. The applicant has asked that the hard surfacing of these driveways not occur until Stage 4, however. This is appropriate, and any hard surfacing requirements will be limited to the reciprocal rights of way serving Lots 1 and 2, and 3 and 4. While the driveways to the other lots also need to be hard surfaced from the edge of the carriageway to a distance at least 5m inside the property boundary, this can be undertaken at the time of development of the lots, when the driveway position for each site is settled upon.

6. Amenity Values (8.13.5)

The proposed variation will have result in no changes to the amenity values of the area. The land is zoned Residential 1, and the residential development of this land at the density proposed is anticipated by the District Plan. The staging of the development, which is likely to follow the staging of the subdivision consent, will have no adverse effects on the amenity of the area as it is only the timing of the development which will alter.

## **DECISION**

### SUB-2012-14/B

*That pursuant to sections 34(A) and 127(1) of the Resource Management Act 1991 and after having regard to section 104 of the Act, the Dunedin City Council **grants** consent to the discretionary activity of varying SUB-2012-14/A by staging Stage 2 into Stages 2, 3, and 4, and accordingly SUB-2012-14/A is amended to read as shown on the attached certificate.*

## **LAPSING OF CONSENT**

SUB-2012-14/B shall expire on 15 March 2017 after a period of 5 years from the date of issue of SUB-2012-14, unless the consent has been given effect to during this time. This

lapse period may be extended on application to the Council pursuant to section 125 of the Resource Management Act 1991.

### COMPLIANCE WITH CONDITIONS

It is the consent holder's responsibility to comply with any conditions imposed on their resource consent prior to and during (as applicable) exercising the resource consent. Failure to comply with the conditions may result in prosecution, the penalties for which are outlined in section 339 of the Resource Management Act 1991.

### REASONS FOR DECISION

It is considered appropriate to amend the consent decision for the following reasons:

1. The staging of the subdivision does not change the overall effect of the subdivision, merely the timing of the works. Staging will allow the Lot 16, requiring little in the way of infrastructure installation, to be developed and sold first. The bulk of the surveying and subdivision works will occur at Stages 3 and 4.

### RIGHTS OF OBJECTION

In accordance with section 357 of the Resource Management Act 1991, the consent holder may object to this decision or any condition within 15 working days of the decision being received, by applying in writing to the Dunedin City Council at the following address:

The Chief Executive  
Dunedin City Council  
P O Box 5045  
Dunedin 9058

Attn: Senior Planner – Enquiries Plaza, Ground Floor

### DEVELOPMENT CONTRIBUTIONS

Development contributions for the original lots were levied at the time of SUB-2012-14 in accordance with Section 198 of the Local Government Act 2002 and the Dunedin City Council Policy on Development Contributions of the adopted 2006/07 – 2015/16 Community Plan. This applied a development contribution levee at the rate of \$345.49 (GST exclusive) for each new lot. For 16 lots (with credit given for one existing site), the total development contribution was calculated to be \$5182.35 (GST exclusive), payable in one stage. This has been paid.

Development contributions are now levied in accordance with Section 198 of the Local Government Act 2002 and the Dunedin City Council Policy on Development Contributions of the adopted 2009/10 – 2018/19 Community Plan. The rate is now \$257.02 (GST exclusive) per new lot. This rate will apply to Stage 4 when the additional lot (Lot 2) of SUB-2012-14/A is created, and is calculated as follows:

#### Stage 4:

Contribution Area	Rate per Unit of Demand 2012/13#	Additional Units of Demand	Contribution excluding GST
City Wide Reserves Contribution	\$257.02 per unit	1	\$257.02
GST:			\$38.55
Total:			\$295.57

Payment shall be made at your earliest convenience but shall be prior to the issue of the 224(c) certificate for Stage 4 of the subdivision. In the event that the development contribution for this consent is not paid, the Council may pursuant to section 208 of the Local Government Act 2002:

- a) withhold a certificate under section 224(c) of the Resource Management Act 1991 and
- b) register the development contribution under the Statutory Land Charges Registration Act 1928, as a charge on the title of the land in respect of which the development contribution was required.

Yours faithfully

Lianne Darby  
**PLANNER**



**Consent Type:** Section 127 Variation of Conditions

**Consent Number:** SUB-2012-14/B (amending SUB-2012-14/A)  
LUC-2012-67 & LUC-2012-362 included for completeness.

SUB-2012-14/B

*That pursuant to sections 34(A) and 127(1) of the Resource Management Act 1991 and after having regard to section 104 of the Act, the Dunedin City Council **grants** consent to the discretionary activity of varying SUB-2012-14/A by staging Stage 2 into Stages 2, 3, and 4.*

**The Amended Decision now reads:**

Location of Activity: 5 Puddle Alley, Wingatui

Legal Description: Lot 2 DP 337886 (CFR 155822).

Lapse Date: SUB-2012-14/B & LUC-2012-67: 15 March 2012, unless the consent has been given effect to before this date.  
LUC-2012-362: 15 August 2017, unless the consent has been given effect to before this date.

Subdivision SUB-2012-14 (as amended by SUB-2012-14/A & SUB-2012-14/B)

*That pursuant to section 34A(1) and 104B and after having regard to Part II matters and sections 104 and 104D of the Resource Management Act 1991, the Dunedin City Council **grants** consent to a **non-complying** activity being the subdivision of the land at 5 Puddle Alley, Wingatui, being the land legally described as Lot 2 DP 337886 (CFR 155822), subject to the conditions imposed under sections 108 and 220 of the Act, follows:*

**Stage 1: Subdivision of the subject site into Lot 8 and balance land, Lot 101:**

*[Completed]*

**Stage 2: Subdivision of Lot 101 into ~~Lots 1-7 and 9-16~~ Lot 16 and balance land, Lot 102**

4. *That the proposal is undertaken in general accordance with the revised plan prepared by Paterson Pitts Partners Ltd titled, 'Proposed Staged Subdivision of Lot 2 DP 337886 5 Puddle Alley: Variation to SUB-2012-14 & 14A,' received by Council on ~~23 July 2012~~ 28 March 2013, and the details submitted with the resource consent application SUB-2012-14 received by Council on 16 February 2012, and the variation SUB-2012-14/A received by Council on 23 July 2012, and the variation SUB-2012-14/B received by Council on 28 March 2013, except where modified by the following conditions of consent:*
5. *Prior to certification of the survey plan pursuant to section 223 of the Resource Management Act 1991, the applicant shall ensure the following:*
  - a) *If a requirement for any easements for services is incurred during the survey then those easements shall be granted or reserved and included in a Memorandum of Easements on the survey plan.*

- b) ~~That reciprocal rights of way shall be created over the leg-ins of new Lots 3 and 4 and shall be shown on the survey plan in a Memorandum of Easements. The combined legal width of the rights of way shall be a minimum of 3.5m.~~
  - c) ~~That reciprocal rights of way shall be created over Lots 1 and 2, and shall be shown on the survey plan in a Memorandum of Easements. The combined legal width of the rights of way shall be a minimum of 3.5m.~~
  - d) ~~That reciprocal rights of way shall be created over Lots 9 to 15 in favour of Lots 9 to 15, and shall be shown on the survey plan in a Memorandum of Easements. The combined legal width of the rights of way shall be a minimum of 6.0m.~~
  - e) That, if not already created, an easement in gross shall be created over any new stormwater sewer within the new lots to be vested with Council. The easement in gross shall be created in accordance with the requirements of section 4.3.9 of the Dunedin Code of Subdivision and Development 2010.
  - f) That, if not already created, an easement in gross shall be created over any new foul sewer within the new lots to be vested with the Council. The easement shall be created in accordance with the requirements of section 5.3.4 of the Dunedin Code of Subdivision and Development 2010.
6. Prior to certification pursuant to section 224(c) of the Resource Management Act 1991, the applicant shall complete the following:
- a) ~~That the existing sheds on site shall be demolished.~~
  - b) An 'Application for Water Supply – New Supply,' is to be submitted to the Water Network Engineering Officer for approval to establish a water connection to the new lots Lot 16. Details of how the new lots ~~are~~ Lot 16 is to be served for water shall accompany the application for water supply.
  - c) Upon approval of the water supply application by the Water Network Engineering Officer, the water service connections shall be installed in accordance with the requirements of Section 6.6.2 of the Dunedin Code of Subdivision and Development 2010.
  - d) The consent holder shall confirm in writing to the Network Engineer that the subdivision is compliant with the requirements of the Fire Service Code of Practice for Fire Fighting Water Supplies or any other arrangement acceptable to the New Zealand Fire Service.
  - e) That detailed engineering design of all foul sewer infrastructure to be vested with Council shall be provided to the Network Engineer, Water and Waste Services Business Unit, for approval prior to works commencing.
  - f) The wastewater infrastructure shall be constructed in accordance with the approved engineering designs.
  - g) That detailed engineering design of all stormwater infrastructure to be vested with Council shall be provided to the Network Engineer, Water and Waste Services Business Unit, for approval prior to works commencing. Stormwater discharges from the subdivision shall not exceed pre-development levels of storm events up to, and including, 1% AEP.

- h) *The stormwater infrastructure shall be constructed in accordance with the approved engineering designs.*
- i) *An Erosion and Sediment Control Management Plan (ESCMP) shall be prepared and submitted to the Water and Waste Services Business Unit for approval prior to any earthworks commencing.*
- j) *The ESCMP shall set out clearly the sediment and erosion control measures that are to be implemented to ensure that all practicable measures are used to mitigate erosion and to control and contain sediment-laden stormwater run-off from the site during any stages of site disturbance that may be associated with this subdivision. The ESCMP shall in any event include but not be limited to:*
  - (i) A locality map;*
  - (ii) Detailed drawings showing the type and location of erosion and sediment control measures, on-site catchment boundaries, and off-site sources of run-off;*
  - (iii) Drawings and specifications of all designated erosion and sediment control measures with supporting calculations;*
  - (iv) A programme of works which includes, but is not limited to, a proposed timeframe for the works;*
  - (v) The inspections and maintenance of erosion and sediment control measures;*
  - (vi) Details of when the erosion and sediment control measures are to be established and decommissioned.*
- k) *The ESCMP is to be peer reviewed by a suitably qualified and experienced person before being submitted to the Water and Waste Services Business Unit for written approval.*
- l) *No site works shall commence or be undertaken other than in full compliance with the approved ESCMP.*
- m) *The subdivider shall ensure that all erosion and sediment control measures are inspected each working day. Records of any inspections shall be kept and provided to the Water and Waste Services Business Unit upon request.*
- n) *That the rights of way of Lots 3 and 4 shall be formed to a minimum combined width of 3.0m, shall be hard surfaced for their full length, and be adequately drained.*
- o) *That the rights of way of Lots 1 and 2 shall be formed to a minimum combined width of 3.0m, shall be hard surfaced for their full length, and be adequately drained.*
- p) *That the rights of way of Lots 9 to 15 shall be formed to a minimum width of 5.0m where serving seven or more residential units; 4.5m where serving between four and seven residential units; or 3.0m where serving three or fewer residential units. The rights of way shall be hard surfaced for their full length, and shall be adequately drained.*
- q) *That a consent notice shall be placed on the titles of Lots 1 to 7 and 9 to 16 for the following on-going condition:*

*'Any residential dwelling to be constructed on this land shall have a floor level at least 200mm above existing ground level, or any local ponding level, if known, in order to mitigate the risk to property from flooding.'*

**Stage 3: Subdivision of Lot 102 into Lots 9 to 15 and balance land, Lot 103**

7. That the proposal is undertaken in general accordance with the revised plan prepared by Paterson Pitts Partners Ltd titled, 'Proposed Staged Subdivision of Lot 2 DP 337886 5 Puddle Alley: Variation to SUB-2012-14 & 14A,' received by Council on 28 March 2013, and the details submitted with the resource consent application SUB-2012-14 received by Council on 16 February 2012, and the variation SUB-2012-14/A received by Council on 23 July 2012, and the variation SUB-2012-14/B received by Council on 28 March 2013, except where modified by the following conditions of consent:
8. Prior to certification of the survey plan pursuant to section 223 of the Resource Management Act 1991, the applicant shall ensure the following:
  - a) If a requirement for any easements for services is incurred during the survey then those easements shall be granted or reserved and included in a Memorandum of Easements on the survey plan.
  - b) That reciprocal rights of way shall be created over Lots 9 to 15 in favour of Lots 9 to 15, and shall be shown on the survey plan in a Memorandum of Easements. The combined legal width of the rights of way shall be a minimum of 6.0m.
  - c) That, if not already created, an easement in gross shall be created over any new stormwater sewer within the new lots to be vested with Council. The easement in gross shall be created in accordance with the requirements of section 4.3.9 of the Dunedin Code of Subdivision and Development 2010.
  - d) That, if not already created, an easement in gross shall be created over any new foul sewer within the new lots to be vested with the Council. The easement shall be created in accordance with the requirements of section 5.3.4 of the Dunedin Code of Subdivision and Development 2010.
9. Prior to certification pursuant to section 224(c) of the Resource Management Act 1991, the applicant shall complete the following:
  - a) An 'Application for Water Supply – New Supply,' is to be submitted to the Water Network Engineering Officer for approval to establish a water connection to the new lots. Details of how the new lots are to be served for water shall accompany the application for water supply.
  - b) Upon approval of the water supply application by the Water Network Engineering Officer, the water service connections shall be installed in accordance with the requirements of Section 6.6.2 of the Dunedin Code of Subdivision and Development 2010.
  - c) The consent holder shall confirm in writing to the Network Engineer that the subdivision is compliant with the requirements of the Fire Service Code of Practice for Fire Fighting Water Supplies or any other arrangement acceptable to the New Zealand Fire Service.



- d) That detailed engineering design of all foul sewer infrastructure to be vested with Council shall be provided to the Network Engineer, Water and Waste Services Business Unit, for approval prior to works commencing.
- e) The wastewater infrastructure shall be constructed in accordance with the approved engineering designs.
- f) That detailed engineering design of all stormwater infrastructure to be vested with Council shall be provided to the Network Engineer, Water and Waste Services Business Unit, for approval prior to works commencing. Stormwater discharges from the subdivision shall not exceed pre-development levels of storm events up to, and including, 1% AEP.
- g) The stormwater infrastructure shall be constructed in accordance with the approved engineering designs.
- h) An Erosion and Sediment Control Management Plan (ESCMP) shall be prepared and submitted to the Water and Waste Services Business Unit for approval prior to any earthworks commencing.
- i) The ESCMP shall set out clearly the sediment and erosion control measures that are to be implemented to ensure that all practicable measures are used to mitigate erosion and to control and contain sediment-laden stormwater run-off from the site during any stages of site disturbance that may be associated with this subdivision. The ESCMP shall in any event include but not be limited to:
  - (i) A locality map;
  - (ii) Detailed drawings showing the type and location of erosion and sediment control measures, on-site catchment boundaries, and off-site sources of run-off;
  - (iii) Drawings and specifications of all designated erosion and sediment control measures with supporting calculations;
  - (vi) A programme of works which includes, but is not limited to, a proposed timeframe for the works;
  - (vii) The inspections and maintenance of erosion and sediment control measures;
  - (vi) Details of when the erosion and sediment control measures are to be established and decommissioned.
- j) The ESCMP is to be peer reviewed by a suitably qualified and experienced person before being submitted to the Water and Waste Services Business Unit for written approval.
- k) No site works shall commence or be undertaken other than in full compliance with the approved ESCMP.
- l) The subdivider shall ensure that all erosion and sediment control measures are inspected each working day. Records of any inspections shall be kept and provided to the Water and Waste Services Business Unit upon request.
- m) That the rights of way of Lots 9 to 15 shall be formed to a minimum width of 5.0m where serving seven or more residential units; 4.5m where serving between four and seven residential units; or 3.0m where serving three or fewer residential units. The rights of way shall be hard surfaced for their full length, and shall be adequately drained.

- n) That a consent notice shall be placed on the titles of Lots 9 to 15 for the following on-going condition:

'Any residential dwelling to be constructed on this land shall have a floor level at least 200mm above existing ground level, or any local ponding level, if known, in order to mitigate the risk to property from flooding.'

**Stage 4: Subdivision of Lot 103 into Lots 1 to 7**

10. That the proposal is undertaken in general accordance with the revised plan prepared by Paterson Pitts Partners Ltd titled, 'Proposed Staged Subdivision of Lot 2 DP 337886 5 Puddle Alley: Variation to SUB-2012-14 & 14A,' received by Council on 28 March 2013, and the details submitted with the resource consent application SUB-2012-14 received by Council on 16 February 2012, and the variation SUB-2012-14/A received by Council on 23 July 2012, and the variation SUB-2012-14/B received by Council on 28 March 2013, except where modified by the following conditions of consent:
11. Prior to certification of the survey plan pursuant to section 223 of the Resource Management Act 1991, the applicant shall ensure the following:
- a) If a requirement for any easements for services is incurred during the survey then those easements shall be granted or reserved and included in a Memorandum of Easements on the survey plan.
  - b) That reciprocal rights of way shall be created over the leg-ins of new Lots 3 and 4 and shall be shown on the survey plan in a Memorandum of Easements. The combined legal width of the rights of way shall be a minimum of 3.5m.
  - c) That reciprocal rights of way shall be created over Lots 1 and 2, and shall be shown on the survey plan in a Memorandum of Easements. The combined legal width of the rights of way shall be a minimum of 3.5m.
  - d) That, if not already created, an easement in gross shall be created over any new stormwater sewer within the new lots to be vested with Council. The easement in gross shall be created in accordance with the requirements of section 4.3.9 of the Dunedin Code of Subdivision and Development 2010.
  - e) That, if not already created, an easement in gross shall be created over any new foul sewer within the new lots to be vested with the Council. The easement shall be created in accordance with the requirements of section 5.3.4 of the Dunedin Code of Subdivision and Development 2010.
12. Prior to certification pursuant to section 224(c) of the Resource Management Act 1991, the applicant shall complete the following:
- a) An 'Application for Water Supply – New Supply,' is to be submitted to the Water Network Engineering Officer for approval to establish a water connection to the new lots. Details of how the new lots are to be served for water shall accompany the application for water supply.
  - b) Upon approval of the water supply application by the Water Network Engineering Officer, the water service connections shall be installed in accordance with the requirements of Section 6.6.2 of the Dunedin Code of Subdivision and Development 2010.

- c) The consent holder shall confirm in writing to the Network Engineer that the subdivision is compliant with the requirements of the Fire Service Code of Practice for Fire Fighting Water Supplies or any other arrangement acceptable to the New Zealand Fire Service.
- d) That detailed engineering design of all foul sewer infrastructure to be vested with Council shall be provided to the Network Engineer, Water and Waste Services Business Unit, for approval prior to works commencing.
- e) The wastewater infrastructure shall be constructed in accordance with the approved engineering designs.
- f) That detailed engineering design of all stormwater infrastructure to be vested with Council shall be provided to the Network Engineer, Water and Waste Services Business Unit, for approval prior to works commencing. Stormwater discharges from the subdivision shall not exceed pre-development levels of storm events up to, and including, 1% AEP.
- g) The stormwater infrastructure shall be constructed in accordance with the approved engineering designs.
- h) An Erosion and Sediment Control Management Plan (ESCMP) shall be prepared and submitted to the Water and Waste Services Business Unit for approval prior to any earthworks commencing.
- i) The ESCMP shall set out clearly the sediment and erosion control measures that are to be implemented to ensure that all practicable measures are used to mitigate erosion and to control and contain sediment-laden stormwater run-off from the site during any stages of site disturbance that may be associated with this subdivision. The ESCMP shall in any event include but not be limited to:
  - (i) A locality map;
  - (ii) Detailed drawings showing the type and location of erosion and sediment control measures, on-site catchment boundaries, and off-site sources of run-off;
  - (iii) Drawings and specifications of all designated erosion and sediment control measures with supporting calculations;
  - (viii) A programme of works which includes, but is not limited to, a proposed timeframe for the works;
  - (ix) The inspections and maintenance of erosion and sediment control measures;
  - (vi) Details of when the erosion and sediment control measures are to be established and decommissioned.
- j) The ESCMP is to be peer reviewed by a suitably qualified and experienced person before being submitted to the Water and Waste Services Business Unit for written approval.
- k) No site works shall commence or be undertaken other than in full compliance with the approved ESCMP.
- l) The subdivider shall ensure that all erosion and sediment control measures are inspected each working day. Records of any inspections shall be kept and provided to the Water and Waste Services Business Unit upon request.

- m) That the rights of way of Lots 3 and 4 shall be formed to a minimum combined width of 3.0m, shall be hard surfaced for their full length, and be adequately drained.
- n) That the rights of way of Lots 1 and 2 shall be formed to a minimum combined width of 3.0m, shall be hard surfaced for their full length, and be adequately drained.
- o) That a consent notice shall be placed on the titles of Lots 1 to 7 for the following on-going condition:

'Any residential dwelling to be constructed on this land shall have a floor level at least 200mm above existing ground level, or any local ponding level, if known, in order to mitigate the risk to property from flooding.'

#### Land Use LUC-2012-67

That pursuant to section 34A(1) and 104C and after having regard to section 104 of the Resource Management Act 1991, the Dunedin City Council **grants** consent to a **restricted discretionary** activity, being the yard encroachment and possible height plane angle encroachment of the existing residential dwelling on Lot 8 SUB-2012-14, at 5 Puddle Alley, Wingatui subject to one condition imposed under section 108 of the Act, as follows:

1. That the proposal is undertaken in general accordance with the plan prepared by Paterson Pitts Partners Ltd titled, 'Proposed Subdivision of Lot 2 DP 337886 5 Puddle Alley,' and the details submitted with the resource consent application LUC-2012-67 received by Council on 16 February 2012.

#### Land Use LUC-2012-362

That, pursuant to section 34A(1) and 104C and after having regard to section 104 of the Resource Management Act 1991, the Dunedin City Council **grants** consent to a **restricted discretionary** activity being the height plane angle breaches of the proposed houses on Lots 1 & 2 SUB-2012-14/A at 5 Puddle Alley, Wingatui, subject to one condition imposed under section 108 of the Act, as follows:

1. That the proposal is undertaken in general accordance with the plan prepared by Paterson Pitts Partners Ltd title, 'Proposed Staged Subdivision of Lot 2 DP 337886 6 Puddle Alley: Variation to Sub 2012-14,' and the details submitted with the application for LUC-2012-xxx received by Council on 23 July 2012.

#### **Advice Notes:**

1. In addition to the conditions of a resource consent, the Resource Management Act establishes through sections 16 and 17 a duty for all persons to avoid unreasonable noise, and to avoid, remedy or mitigate any adverse effect created from an activity they undertake. A similar responsibility exists under the Health Act 1956.
2. The lapse period specified above may be extended on application to the Council pursuant to section 125 of the Resource Management Act 1991.
3. Resource consents are not personal property. This consent attaches to the land to which it relates, and consequently the ability to exercise this consent is not restricted to the party who applied and/or paid for the consent application.
4. It is the consent holder's responsibility to comply with any conditions imposed on their resource consent prior to and during (as applicable) exercising the resource consent.



Failure to comply with the conditions may result in prosecution, the penalties for which are outlined in section 339 of the Resource Management Act 1991.

5. The Water and Waste Services Business Unit require that the installation and connection of new water reticulation to the existing public water system shall be carried out after the consent holder has completed and submitted an 'Application for Water Supply' form to the Council and following the consent holder's acceptance of the quote for the required work (as per the Dunedin City Council's Terms and Conditions for the Supply of Water and the Dunedin City Council Code of Subdivision (Part 4)). A quote for the required work can be obtained from either the Dunedin City Council (DCC) or an approved water supply connection installer (AWSCI).
6. The consent holder is to ensure that all practicable measures are used to mitigate erosion and to control and contain sediment-laden stormwater run-off from the site during any stages of site disturbance that may be associated with this subdivision and land use consent.
7. The following documentation is recommended as best practice guidelines for managing erosion and sediment -laden run-off and for the design and construction of erosion and sediment control measures for small sites:
  - ARC Technical Publication No. 90 Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region, March 1999.
  - Environment Canterbury, 2007 'Erosion and Sediment Control Guidelines for the Canterbury Region' Report No. CRCR06/23.
  - Environment Canterbury, 2007 "Erosion and Sediment Control Guidelines for Small Sites."
8. All aspects relating to the availability of the water for fire-fighting should be in accordance with SNZ PAS 4509:2008, being the Fire Service Code of Practice for Fire Fighting Water Supplies, unless otherwise approved by the New Zealand Fire Service. Any proposed dwelling must be constructed within 135m of an existing fire hydrant, otherwise the proposal will be non-compliant with fire fighting requirements.
9. Parts 4, 5 and 6 (Stormwater Drainage, Wastewater and Water Supply) of the Dunedin Code of Subdivision and Development 2010 must be complied with.
10. It is advised that any drainage issues and requirements (including the necessary works) will be addressed via the building consent process. Separate stormwater and foul sewage drains are required for the new lots.
11. It is advised that in the event of any new development of the new lots, Transportation Operations will review the provisions for access and parking at the time of any building consent or resource consent application.
12. It is advised that the vehicle access from the carriageway to the property boundary is over road reserve, and is therefore required to be constructed in accordance with the Dunedin City Council Vehicle Entrance Specification (available from Transportation Operations).
13. It is recommended that a formal agreement be drawn up between the owners and users of the rights of way to clarify responsibilities for maintenance.
14. Certain requirements for building on this land may be stipulated via the building consent process, and are likely to include the following points:
  - For sites level with or above the road, the finished floor level of any building is to be a minimum of 150mm above the crown of the road.

- For sites below the road, the finished floor level is to be no less than 150mm above the lowest point on the site boundary. Surface water is not to create a nuisance on any adjoining properties.
- For secondary flow paths, the finished floor level shall be set at the height of the secondary flow plus an allowance for free board.
- As required by the New Zealand Building Code E1.3.2, surface water resulting from an event having a 2% probability of occurring annually, shall not enter buildings. The finished floor level shall be set accordingly.

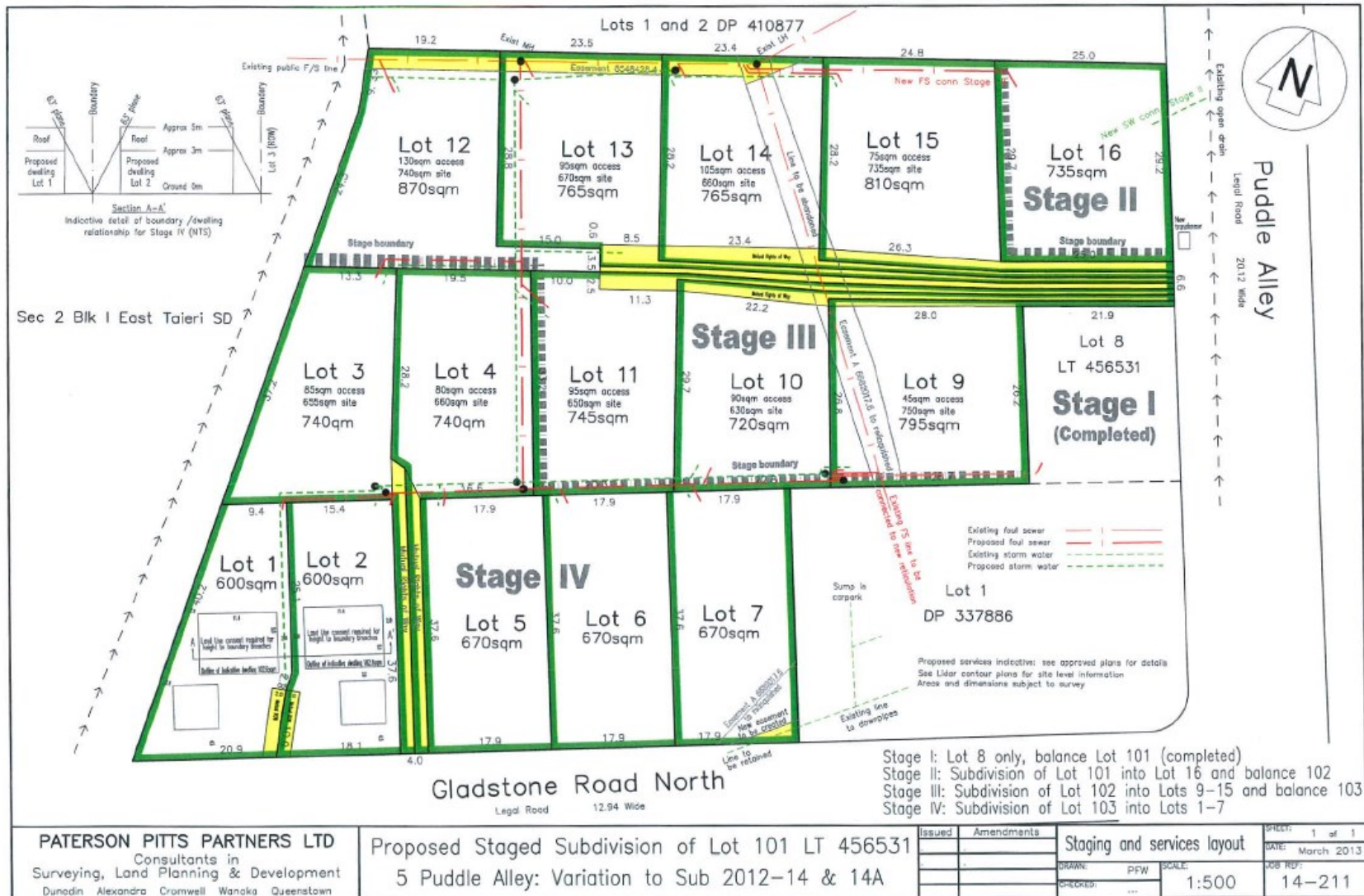
~~Issued at Dunedin this 15 March 2012.~~

~~SUB-2012-14/A re-issued this 9 August 2012 pursuant to section 127 of the Resource Management Act 1991.~~

~~SUB-2012-14/B re-issued this 10 April 2013 pursuant to section 127 of the Resource Management Act 1991.~~

Lianne Darby  
**PLANNER**

**COPY OF PLANS:** Not to Scale.









# View Instrument Details

**Instrument No.** 9867765.10  
**Status** Registered  
**Date & Time Lodged** 17 Oct 2014 16:54  
**Lodged By** Van Turnhout, Linda Maria  
**Instrument Type** Consent Notice under s221(4)(a) Resource Management Act 1991



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Affected Computer Registers	Land District
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647542	Otago
647543	Otago
647544	Otago
647545	Otago
647546	Otago
647547	Otago
647548	Otago

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**Annexure Schedule:** Contains 4 Pages.

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## Signature

Signed by Gina Sue Chin as Territorial Authority Representative on 17/10/2014 03:58 PM

\*\*\* End of Report \*\*\*

IN THE MATTER of Section 221 of the  
Resource Management  
Act 1991

AND

IN THE MATTER of an Application for  
Subdivision Consent  
SUB 2012-14A Stage 3

### CONSENT NOTICE

Pursuant to Section 221 of the Resource Management Act 1991, the Dunedin City Council has granted consent to the proposed subdivision subject to certain conditions which are required to be complied with on a continuing basis by the Owner and Subsequent Owners of the land or part(s) thereof, being those conditions specified in the Operative Part.


#### OPERATIVE PART

The condition subject to this Consent Notice which relates to Lots 9 to 15 DP 463486 only is as follows:

Any residential dwelling to be constructed on this land shall have a floor level at least 200mm above existing ground level, or any local ponding level, if known, in order to mitigate the risk to property from flooding

Dated this ..... 24 ..... day of OCTOBER ..... 2014

SIGNED for and on behalf of the  
DUNEDIN CITY COUNCIL by its  
Authorised Officer

  
.....

# ANNEXURE SCHEDULE CONSENT FORM<sup>1</sup>

## Land Transfer Act 1952 section 238(2)

Person giving consent  
*Surname must be underlined*

Capacity and Interest of Person giving consent  
*(eg. Mortgagee under Mortgage no.)*

**Bank of New Zealand**

**Mortgagee under Mortgage No.  
9345270.4**

### Consent

*Delete words in [ ] if inconsistent with the consent  
State full details of the matter for which consent is required*

[Without prejudice to the rights and powers existing under the interest of the person giving consent,]

the Person giving consent hereby consents to:

The subdivision of the land contained in Certificate of Title 613457, issue of new titles as per Title Plan LT473453 and registration of the easements specified in the said Plan.

Dated this 2 day of October 2014

### Attestation:

SIGNED for and on behalf of  
BANK OF NEW ZEALAND  
by its Attorney

Signed in my presence by the Person giving consent

*[Signature]*  
Signature of Witness

Witness to complete in BLOCK letters (unless legibly printed):

Witness name

Priscilla Stephanie Marie Foothead  
Bank Officer  
Bank of New Zealand  
Wellington

Occupation

Address

Signature (Common seal)  
of Person giving consent

<sup>1</sup> An Annexure Schedule in this form may be attached to the relevant instrument, where consent is required to enable registration under the Land Transfer Act 1952, or other enactments, under which no form is prescribed.

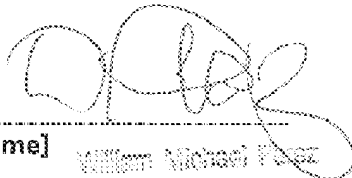


**CERTIFICATE OF NON-REVOCATION  
OF POWER OF ATTORNEY**

I, William Michael Perez, Quality Assurance Officer of Wellington, New Zealand certify:

1. That by deed dated 12 July 2005, Bank of New Zealand, of Level 4, 80 Queen Street, Auckland, New Zealand, appointed me its attorney.
2. A copy of the deed is deposited in the North Auckland registration district of Land Information New Zealand as dealing No. 6508607.1
3. That I have not received notice of any event revoking the power of attorney.

SIGNED at Wellington this **2 OCTOBER 2014**

  
[Full name] William Michael Perez



**Linda van Turnhout**

**From:** Roz\_Huuskes@bnz.co.nz on behalf of Stephen\_H\_Graham@bnz.co.nz  
**Sent:** Friday, 17 October 2014 11:20 a.m.  
**To:** Linda van Turnhout  
**Subject:** Re: Baghdad Investments Ltd  
**Attachments:** SKMBT\_C554e14101709430.pdf

Hi Linda

The Bank consents to their registration.

Regards

Roz

**Roz Huuskes | Associate | BNZ Partners – Coastal Otago**

Level 1, 98 George Street, Dunedin | PO Box 5843, Dunedin 9016, New Zealand  
 T: +64 3 955-6335 (ext 56335) | F: +64 3 474-7378 | E: [roz.huuskes@bnz.co.nz](mailto:roz.huuskes@bnz.co.nz)  
**Partners Support Freephone** 0800 273 916 | F: 0800 283 617 | E: [partnerssupport@bnz.co.nz](mailto:partnerssupport@bnz.co.nz)  
 Bank of New Zealand

From: Linda van Turnhout <[Linda.vanTurnhout@gallawaycookallan.co.nz](mailto:Linda.vanTurnhout@gallawaycookallan.co.nz)>  
 To: "Stephen\_H\_Graham@bnz.co.nz" <[Stephen\\_H\\_Graham@bnz.co.nz](mailto:Stephen_H_Graham@bnz.co.nz)>  
 Date: 17/10/2014 09:52 a.m.  
 Subject: Baghdad Investments Ltd

Hi Stephen

Further to the Bank's consent to the subdivision, we have now been given two consent notices by the Surveyor which are also to be registered on the new titles.

We attach a copy of the consent notices and would be grateful if you would confirm that the Bank consents to their registration.

Kind regards, Linda

<b>Linda van Turnhout</b>
Registered Legal Executive
<b>Gallaway Cook Allan</b>
Lawyers
Corner High and Princes Streets
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 Gallaway Cook Allan Wanaka  
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# View Instrument Details

**Instrument No.** 9867765.11  
**Status** Registered  
**Date & Time Lodged** 17 Oct 2014 16:54  
**Lodged By** Van Turnhout, Linda Maria  
**Instrument Type** Consent Notice under s221(4)(a) Resource Management Act 1991



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Affected Computer Registers	Land District
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647542	Otago
647543	Otago
647544	Otago
647545	Otago
647546	Otago
647547	Otago
647548	Otago
647549	Otago

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**Annexure Schedule:** Contains 4 Pages.

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## Signature

Signed by Gina Sue Chin as Territorial Authority Representative on 17/10/2014 03:59 PM

\*\*\* End of Report \*\*\*

IN THE MATTER of Section 221 of the  
Resource Management Act 1991

AND

IN THE MATTER of Application for  
Subdivision Consent No SUB-2012-14/B

## CONSENT NOTICE

**Whereas** Council has granted consent to the proposed subdivision comprised in Deposited Plan DP 473453 subject to the following conditions, which are required to be complied with on a continuing basis by the owners and subsequent owners of the land or part thereof being those conditions specified in the operative part.

### Operative Part

This condition relates to:

Lots 9-15 & 103 DP 473453 and shall be placed on Certificates of Title 647542 to 647549.

The condition of this consent is as follows:

*Prior to a residential activity taking place on this site, the property owner shall install a collection tank to retain all stormwater run-off from roof surfaces. This tank shall have a minimum storage capacity of 5,000 litres. Primary discharge shall be through a restricted aperture located near the invert of the tank, which shall be specifically designed to pass 0.5 litres per second. Secondary discharge shall be by way of a standard 100mm dia drain installed at the top of the tank, which shall provide an escape route for water during extreme rainfall events.*

*This condition does not apply to unattached accessory structures of less than 20m<sup>2</sup> roof area.*

*The purpose of this consent notice is to reduce the impact of stormwater flows from the subdivision development on downstream catchments.*

DATED at Dunedin this 8th day of OCTOBER 2014

Signed for and on behalf of  
Dunedin City Council by its  
Authorised Officer



# ANNEXURE SCHEDULE CONSENT FORM<sup>1</sup>

## Land Transfer Act 1952 section 238(2)

Person giving consent  
*Surname must be underlined*

Capacity and Interest of Person giving consent  
*(eg. Mortgagee under Mortgage no.)*

<b>Bank of New Zealand</b>	<b>Mortgagee under Mortgage No. 9345270.4</b>
----------------------------	---

### Consent

*Delete words in [ ] if inconsistent with the consent*

*State full details of the matter for which consent is required*

[Without prejudice to the rights and powers existing under the interest of the person giving consent,]

the Person giving consent hereby consents to:

The subdivision of the land contained in Certificate of Title 613457, issue of new titles as per Title Plan LT473453 and registration of the easements specified in the said Plan.

Dated this 2 day of October 2014

### Attestation

SIGNED for and on behalf of  
BANK OF NEW ZEALAND  
by its Attorney

Signed in my presence by the Person giving consent

  
Signature of Witness

Witness to complete in BLOCK letters (unless legibly printed):

Witness name

Occupation

Address

Priscilla Stephanie Marie Foothead  
Bank Officer  
Bank of New Zealand  
Wellington

Signature [Common seal]  
of Person giving consent

<sup>1</sup> An Annexure Schedule in this form may be attached to the relevant instrument, where consent is required to enable registration under the Land Transfer Act 1952, or other enactments, under which no form is prescribed.





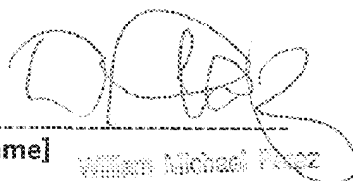
**CERTIFICATE OF NON-REVOCATION  
OF POWER OF ATTORNEY**

I, William Michael Perez, Quality Assurance Officer of Wellington, New Zealand certify:

1. That by deed dated 12 July 2005, Bank of New Zealand, of Level 4, 80 Queen Street, Auckland, New Zealand, appointed me its attorney.
2. A copy of the deed is deposited in the North Auckland registration district of Land Information New Zealand as dealing No. 6508607.1
3. That I have not received notice of any event revoking the power of attorney.

SIGNED at Wellington this

**2 OCTOBER 2014**

  
[Full name] William Michael Perez

**Linda van Turnhout**

**From:** Roz\_Huuskes@bnz.co.nz on behalf of Stephen\_H\_Graham@bnz.co.nz  
**Sent:** Friday, 17 October 2014 11:20 a.m.  
**To:** Linda van Turnhout  
**Subject:** Re: Baghdad Investments Ltd  
**Attachments:** SKMBT\_C554e14101709430.pdf

Hi Linda

The Bank consents to their registration.

Regards

Roz

**Roz Huuskes | Associate | BNZ Partners – Coastal Otago**

Level 1, 98 George Street, Dunedin | PO Box 5643, Dunedin 9016, New Zealand  
 T: +64 3 955-6335 (ext 56335) | F: +64 3 474-7378 | E: [roz\\_huuskes@bnz.co.nz](mailto:roz_huuskes@bnz.co.nz)  
 Partners Support Freephone 0800 273 916 | F: 0800 283 617 | E: [partnerssupport@bnz.co.nz](mailto:partnerssupport@bnz.co.nz)  
 Bank of New Zealand

From: Linda van Turnhout <[Linda.vanTurnhout@gallawaycookallan.co.nz](mailto:Linda.vanTurnhout@gallawaycookallan.co.nz)>  
 To: "Stephen\_H\_Graham@bnz.co.nz" <[Stephen\\_H\\_Graham@bnz.co.nz](mailto:Stephen_H_Graham@bnz.co.nz)>  
 Date: 17/10/2014 09:52 a.m.  
 Subject: Baghdad Investments Ltd

Hi Stephen

Further to the Bank's consent to the subdivision, we have now been given two consent notices by the Surveyor which are also to be registered on the new titles.

We attach a copy of the consent notices and would be grateful if you would confirm that the Bank consents to their registration.

Kind regards, Linda

<b>Linda van Turnhout</b>
Registered Legal Executive
<b>Gallaway Cook Allan</b>
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