

Dunedin City Council Land Information Memorandum

100514

**Issued in accordance with Section 44A of the Local Government Official
Information and Meetings Act 1987**

**Should you require further clarification of any of the information listed
in this report, please phone our Customer Services Agency on
03 477 4000.**

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **21 May 2025**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Records of Title as this report may not include information that is registered on the Records of Title. The Records of Title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

PROPERTY ADDRESS

34 Ann Street Dunedin

**LIM Applicant
Print Date**

D O'Brien, S Blakely, J McLeod & M Clarkson
21-May-2025

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PROPERTY DETAILS

Property ID	5019446
Address	34 Ann Street Dunedin
Parcels	PT LOT 8 DEEDS 9
Property ID	5141892
Address	17 Hereford Street Dunedin
Parcels	PT LOT 8 DEEDS 9
Rubbish Day	Tuesday

RATES DETAILS

Rate Account	2019446
Address	34 Ann Street Dunedin
Valuation Number	26970-50700
Latest Valuation Details	
Capital Value	\$790,000
Land Value	\$500,000
Value of Improvements	\$290,000
Area (Hectares)	0.0516HA
Units of Use	2
Current Rates	
Current Rating Year Starting	01-Jul-2024
Dunedin City Council Rates	\$5,840.83
Rates Outstanding for Year	\$503.01

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

BUILDING, PLUMBING AND DRAINAGE

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

Public Sewer sheets.

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete.

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

Building and Drainage Information

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Seepage

A seepage incident has been lodged on this property.

Seepage Incident:52212 – 15.8.2000 - Completed

Earthquake-prone Buildings

The following information is recorded for this property:

Earthquake Prone Status	Not yet profiled
Assessment Due Date	
Extension Granted	
Extension Description	
Assessment Status	
Assessment Result (%)	
Earthquake Rating Category	
EPB Notice Issued	

If Earthquake Prone status is set to EPB Methodology, it has been assessed under the Building Amendment Act 2016. This status will remain in place under the Building Amendment Act 2016.

Otherwise, the building was identified as potentially earthquake prone under the Dunedin City Council Earthquake prone buildings policy. This work predates the Building (earthquake-prone buildings) Amendment Act 2016. New or additional information may be requested to establish whether or not the building is deemed earthquake prone under the current legislation.

Information regarding managing earthquake-prone buildings is available on the Ministry of Business, Innovation and Employment's web site <https://www.building.govt.nz/managing-buildings/managing-earthquake-prone-buildings/>
For further information refer to the Dunedin City Council Earthquake Prone Buildings information on the website: <https://www.dunedin.govt.nz/services/building-services/earthquake-prone-buildings>

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	Refused	-	
	Lapsed	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-1995-333915](#) Building Consent - Convert Garage to Bedroom and Study, (Cameron)

Lodgement Date	27-Nov-1995
Decision	Granted
Decision Date	30-Nov-1995
Current Status	CCC Issued
Previous Number	ABA955416

(Applications before 2007)

Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

[H-1964-61340](#) AAB19640374

11582 - Erect New Dwelling, (Sinclair). The permit was lodged on 29-Jul-1964.

[H-1964-61341](#) AAB19640375

11755 - DEMOLISH Dwelling, No Plan (Sinclair). The permit was lodged on 28-Aug-1964.

[H-1972-74574](#) AAB19720399

6171 - Construct Crossing, No Plan (Sinclair). The permit was lodged on 30-Aug-1972.

[H-1917-133636](#) AAD19170140

A12115 - Plumbing and Drainage, (Davies). The permit was lodged on 15-Jun-1917.

[H-1922-137322](#) AAD19220142

B1494 - Plumbing Alterations, No Plan (Davis). The permit was lodged on 20-Mar-1922.

[H-1941-157601](#) AAD19410190

D7384 - Drainage Alterations, (Brown). The permit was lodged on 17-Jul-1941.

[H-1964-187672](#) AAD19642652

G8849 - Plumbing and Drainage to Drain in Common, (Sinclair). The permit was lodged on 05-Aug-1964.

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

HAZARDS

SITE HAZARDS

This property has been identified as being affected by active faults & folds GNS April 2021 seismic - fault proximity - Kaikorai, Haz Id 12094.

The Otago Regional Council has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.

These reports are publicly available and can be accessed here:

<https://www.orc.govt.nz/plans-policies-reports/reports-and-publications/natural-hazards>

These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report. We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.

Otago Regional Council - Natural Hazards Database

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

HAZARDOUS SUBSTANCES

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates If you have any questions, please contact Worksafe.

Contaminated Site, Hazardous Substances and Dangerous Goods Information

Historic Dangerous Goods Licence(s)

Details	Old DGL Licence: 493 Start Date: 30/11/1995 Renewal expiry date: 31/03/2004 Licence Ended: ISOBEL O'BRIEN
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The following information has been found in relation to historic dangerous goods licences which expired in 2004.

Historic DGL 493 was for the storage of the following:

- 1 x underground tank of Class 3C Fuel Oil FP > 61oC

ENVIRONMENTAL HEALTH

No records were found of Environmental Health involvement with this property.

LICENSING

Health Licensing

There are no records of any Health Licences for this property.

Liquor Licensing

There are no records of any Liquor Licences for this property.

CITY PLANNING

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand.

Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz ; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

HAIL Status of Subject Site:

This property is not currently listed by the Otago Regional Council as a HAIL site, but there is evidence in the DCC records of an activity that may constitute a possible HAIL activity.

Council holds records of a historic dangerous goods licence DGL493 for 1 x underground tank of Class 3C Fuel/Oil tank at this site.

HAIL Category or Categories:

The HAIL category that could apply to the identified activity is:

A17: Storage tanks or drums for fuel, chemicals or liquid waste

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

District Plan Information

Dunedin currently has two district plans, and as at 19th August 2024, the partially operative Dunedin City Second Generation District Plan ("The 2GP") almost completely superceded the 2006 version of the District Plan. The exceptions where the 2GP has not yet replaced the 2006 Plan relate to two specific provisions and several areas still subject to appeal.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan 2006, until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The schedule of original appeals on the 2GP can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

The schedule of appeals on Variation 2 can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

The 2GP is subject to change at any time. Plan Change 1 (Minor Improvements) to the 2GP was notified on Wednesday 20 November 2024. Rules that protect areas of significant indigenous vegetation or habitats of indigenous fauna, and that protect historic heritage, have immediate legal effect from notification of Plan Change 1. Once the initial submission period ends on 18 December 2024, rules that do not have submissions in opposition to them will be deemed operative. Please refer to our website for more information on Plan Change 1 at <http://www.dunedin.govt.nz/2gp-plan-change-1> .

You should check with the Council whether any changes have occurred since the date this LIM report was issued. **The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued:** there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

OPERATIVE DISTRICT PLAN INFORMATION

Zoning

This property is zoned as follows in the District Plan.

Zone

RESIDENTIAL 1

Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA L_{max} between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

Noise Zone

50Dt/40Nt dBA, 45SP dBA

SECOND GENERATION PLAN INFORMATION

Zoning

- General Residential 2 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Wastewater Constraint Mapped Area
 - Name: Kaikorai Valley and South Dunedin

Resource Consents

There are no resource consents for this property.

RESOURCE CONSENTS WITHIN 50 METRES OF 34 ANN STREET DUNEDIN

5019282 27 Ann Street Dunedin

[LUC-2021-711/A](#) Land Use Consent s127 variation to replace the plans and information provided for an application to establish a building exceeding density and breaching development performance standards. The outcome was s127 Upheld on 05/04/2022.

[LUC-2021-711](#) Land Use Consent establishment of a building exceeding density and breaching development performance standards.. The outcome was Granted on 09/02/2022.

5019285 10 Hereford Street Dunedin

[RMA-1996-359491](#) Resource Management Act (Historical Data) ADD TO DWG-DECK DBT: HOVELL PLANNING SERVICES (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/04/1996.

[RMA-1995-357299](#) Resource Management Act (Historical Data) ER NEW DWG Ownr:CF & K MAHON / App: CF & K MAHON 22 SEAFORTH ST (Non-Notified - Non Complying). The outcome was Granted on 09/02/1995.

[RMA-1995-359115](#) Resource Management Act (Historical Data) ERECT RETAINING WALL (Notified - Restricted Discretionary). The outcome was Granted on 18/04/1996.

5019310 28 Hereford Street Dunedin

[LUC-2017-691](#) Land Use Consent existing residential development of 26 Hereford Street with insufficient on-site parking provision and insufficient distance between the house and right of way, and existing residential activity of 28 Hereford Street utilising an under-width access. The outcome was Granted on 09/01/2018.

[POL-2017-56](#) Planning Other Legislation reciprocal rights of way over 26 & 28 Hereford Street (revision to proposal authorised under POL-2017-8). The outcome was Granted on 09/01/2018.

[POL-2017-8/A](#) Planning Other Legislation s357 objection to fees. The outcome was S357 Upheld on 19/07/2017.

[POL-2017-8](#) Planning Other Legislation reciprocal rights of way over 26 & 28 Hereford Street. The outcome was Granted on 15/03/2017.

[LUC-2007-548](#) Land Use Consent constructing a dwelling with no on-site car park. The outcome was Granted on 01/11/2007.

5019311 26 Hereford Street Dunedin

[LUC-1988-362641](#) Land Use Consent Site coverage and yard dispensation associated with erection of garage and covered entry to dwelling. The outcome was Granted on 17/10/1988.

[LUC-2017-691](#) Land Use Consent existing residential development of 26 Hereford Street with insufficient on-site parking provision and insufficient distance between the house and right of way, and existing residential activity of 28 Hereford Street utilising an under-width access. The outcome was Granted on 09/01/2018.

[POL-2017-56](#) Planning Other Legislation reciprocal rights of way over 26 & 28 Hereford Street (revision to proposal authorised under POL-2017-8). The outcome was Granted on 09/01/2018.

[POL-2017-8/A](#) Planning Other Legislation s357 objection to fees. The outcome was S357 Upheld on 19/07/2017.

[LUC-2017-113](#) Land Use Consent existing residential activity with no on-site parking and insufficient separation distance between dwelling and rights of way. The outcome was Granted on 15/03/2017.

[POL-2017-8](#) Planning Other Legislation reciprocal rights of way over 26 & 28 Hereford Street. The outcome was Granted on 15/03/2017.

[RMA-2001-364992](#) Resource Management Act (Historical Data) LAND USE CONSENT FOR LICENSED PREMISES BEING A MAIL ORDER BUSINESS ENGAGED IN THE SALE AND DISTRIBUTION OF ALCOHOLIC BEVERAGES (Non-Notified - Non Complying). The outcome was Granted on 27/08/2001.

[POL-2001-349956](#) Planning Other Legislation PLANNING CERTIFICATE FOR OFF-LICENCE UNDER SALE OF LIQUOR ACT 1989 (Other). The outcome was Granted on 28/08/2001.

5019314 24 Hereford Street Dunedin

[RMA-1994-351453](#) Resource Management Act (Historical Data) Remove Building Line Ownr:T.P.COCKS 44 Grey Street (Non-Notified - Non Complying). The outcome was Granted on 17/06/1995.

5019341 9 Hereford Street Dunedin

[RMA-1990-352913](#) Resource Management Act (Historical Data) DISPENSATION (Non-Notified - Non Complying). The outcome was Granted on 27/08/1990.

5019342 11 Hereford Street Dunedin

[RMA-1992-355133](#) Resource Management Act (Historical Data) ERECT SUNDECK Ownr:MCCLINTOCK / App: MCCLINTOCK 24 DE LACY STREET (Non-Notified - Non Complying). The outcome was Granted on 18/06/1992.

5019343 37 Ann Street Dunedin

[LUC-2021-583](#) Land Use Consent the establishment of a dwelling extension. The outcome was Granted on 23/11/2021.

[LUC-2010-180](#) Land Use Consent addition to scheduled building. The outcome was Granted on 25/05/2010.

5019345 41 Ann Street Dunedin

[RMA-1985-351745](#) Resource Management Act (Historical Data) ERECT GARAGE (Non-Notified - Non Complying). The outcome was Granted on 01/10/1985.

5019442 44 Ann Street Dunedin

[LUC-2013-282](#) Land Use Consent add to dwelling. The outcome was Granted on 31/07/2013.

5019443 42 Ann Street Dunedin

[LUC-2022-280](#) Land Use Consent Vehicle access with non-compliant gradient, and transitions of gradients. The outcome was Granted on 07/12/2022.

[SUB-2022-91](#) Subdivision Consent A two-lot residential subdivision. The outcome was Granted on 07/12/2022.

5067779 8 Hereford Street Dunedin

[RMA-1991-351000](#) Resource Management Act (Historical Data) Flats Plan / App: R.W. Buchanan PO Box 353 (Non-Notified - Non Complying). The outcome was Granted on 11/07/1991.

5067780 8A Hereford Street Dunedin

[RMA-1991-351000](#) Resource Management Act (Historical Data) Flats Plan / App: R.W. Buchanan PO Box 353 (Non-Notified - Non Complying). The outcome was Granted on 11/07/1991.

5067781 6A Hereford Street Dunedin

[RMA-1991-351000](#) Resource Management Act (Historical Data) Flats Plan / App: R.W. Buchanan PO Box 353 (Non-Notified - Non Complying). The outcome was Granted on 11/07/1991.

5067782 6B Hereford Street Dunedin

[RMA-1991-351000](#) Resource Management Act (Historical Data) Flats Plan / App: R.W. Buchanan PO Box 353 (Non-Notified - Non Complying). The outcome was Granted on 11/07/1991.

5137164 45A Ann Street Dunedin

SUB-2021-186 Subdivision Consent a fee simple subdivision to create 10 resultant lots, including one access lot for Lots 3-5, one area in common lot and three parking space lots. The outcome was Granted on 05/11/2021.

LUC-2021-400 Land Use Consent residential development consisting of five two-bedroom residential units with performance standard breaches both prior to and following the creation of lots under SUB-2021-186. The outcome was Granted on 05/11/2021.

5137165 45B Ann Street Dunedin

SUB-2021-186 Subdivision Consent a fee simple subdivision to create 10 resultant lots, including one access lot for Lots 3-5, one area in common lot and three parking space lots. The outcome was Granted on 05/11/2021.

LUC-2021-400 Land Use Consent residential development consisting of five two-bedroom residential units with performance standard breaches both prior to and following the creation of lots under SUB-2021-186. The outcome was Granted on 05/11/2021.

5137166 45C Ann Street Dunedin

SUB-2021-186 Subdivision Consent a fee simple subdivision to create 10 resultant lots, including one access lot for Lots 3-5, one area in common lot and three parking space lots. The outcome was Granted on 05/11/2021.

LUC-2021-400 Land Use Consent residential development consisting of five two-bedroom residential units with performance standard breaches both prior to and following the creation of lots under SUB-2021-186. The outcome was Granted on 05/11/2021.

5137167 45D Ann Street Dunedin

SUB-2021-186 Subdivision Consent a fee simple subdivision to create 10 resultant lots, including one access lot for Lots 3-5, one area in common lot and three parking space lots. The outcome was Granted on 05/11/2021.

LUC-2021-400 Land Use Consent residential development consisting of five two-bedroom residential units with performance standard breaches both prior to and following the creation of lots under SUB-2021-186. The outcome was Granted on 05/11/2021.

5137168 45E Ann Street Dunedin

SUB-2021-186 Subdivision Consent a fee simple subdivision to create 10 resultant lots, including one access lot for Lots 3-5, one area in common lot and three parking space lots. The outcome was Granted on 05/11/2021.

LUC-2021-400 Land Use Consent residential development consisting of five two-bedroom residential units with performance standard breaches both prior to and following the creation of lots under SUB-2021-186. The outcome was Granted on 05/11/2021.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

TRANSPORT

As of the 24th April 2015, the Transport Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined.

DCC Transport has carried out a desktop inspection of this property and found the following:

Encroachment on road reserve – privately owned hedge and vegetation over footpath

It appears that the hedge and vegetation at this property's frontage on Hereford Street and Ann Street is encroaching on the footpath. Private vegetation is required to be maintained so that it does not interfere with footpath users or extend over your property boundary.

Council accepts this situation but accepts no liability. Maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

Please note these matters above may or may not have been resolved.

3 WATERS

WATER

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

FOUL SEWER AND WASTE WATER

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **10th September 1998**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz

APPENDIX

Glossary of terms and abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

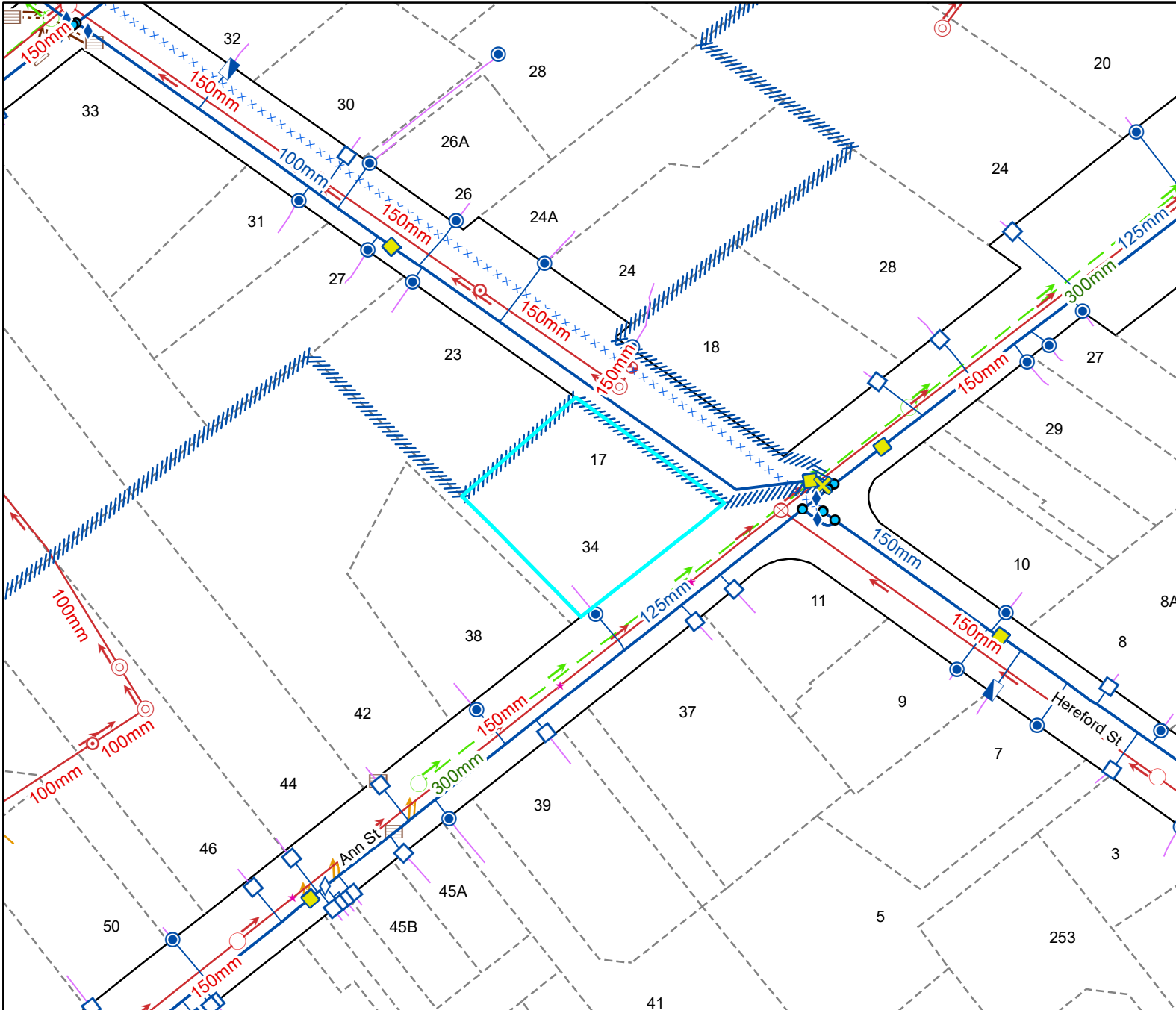
Terms used in Permits & Consents

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

General terms

- RDMS Records and Document Management System





Legend

Water Supply

- Manifold Box
- Water Meter
- Toby
- Meter without manifold box
- Retic Flow Meter
- Combination Meter
- Manifold Box With Restrictor
- Water Valve - Zone
- Non Return Valve
- Water Valve - Gate
- Water Valve - Sluice
- Water Hydrant
- Water Backflow Preventor - RPZ

Water Non-Return Valve

- NR
- Water Pump Station
- Water Bore
- Water Treatment Plant
- Water Storage Tank
- Supply Main
- Trunk Main
- Disused
- Reticulation
- Rider
- Scour
- Water Service Lateral
- Water Fire Service Lateral
- Water Critical Service Lateral
- Water Zone Boundary
- Water Reservoir
- Redundant Water Main

NOTE:
Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

- Standard Manhole
- Valve Chamber (pressurised)
- Boundary Kit
- Non-Return Valve
- Pump Station Domestic
- Drop Manhole
- Inspection Manhole
- Inspection Opening
- Lamphole
- Outlet

- Pump Station
- Treatment Plant
- Vent
- Foul Sewer Node
- Foul Drains in Common (public)
- Sewer
- Trunk Sewer
- Vent Line
- Rising Main
- Redundant Foul Sewer Pipe

NOTE:
Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

- SW Bubble-up Tank
- SW Drop Manhole
- SW Insp Chamber and Grating Inlet
- SW Inspection Manhole
- SW Inspection Opening
- SW Lamphole
- SW Mudtank Inlet
- SW Outlet
- SW Pipe Inlet
- SW Pressure Manhole
- SW Standard Manhole
- SW Stormwater Node

- Roading Bubble-Up Tank
- Roading Mudtank
- Stormwater Main
- Stormwater Trunk Main
- DCC Open Channel
- Piped WC
- Open WC
- Culvert
- Stormwater Mudtank Pipe
- Redundant Stormwater Main
- SW Sump
- SW Pump Station

NOTE:
Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

- DCC Water & Waste Structure
- Railway Centreline

Cadastral

- Parcel
- Hydro
- Strata
- Road/Rail
- Motorway Parcels
- Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

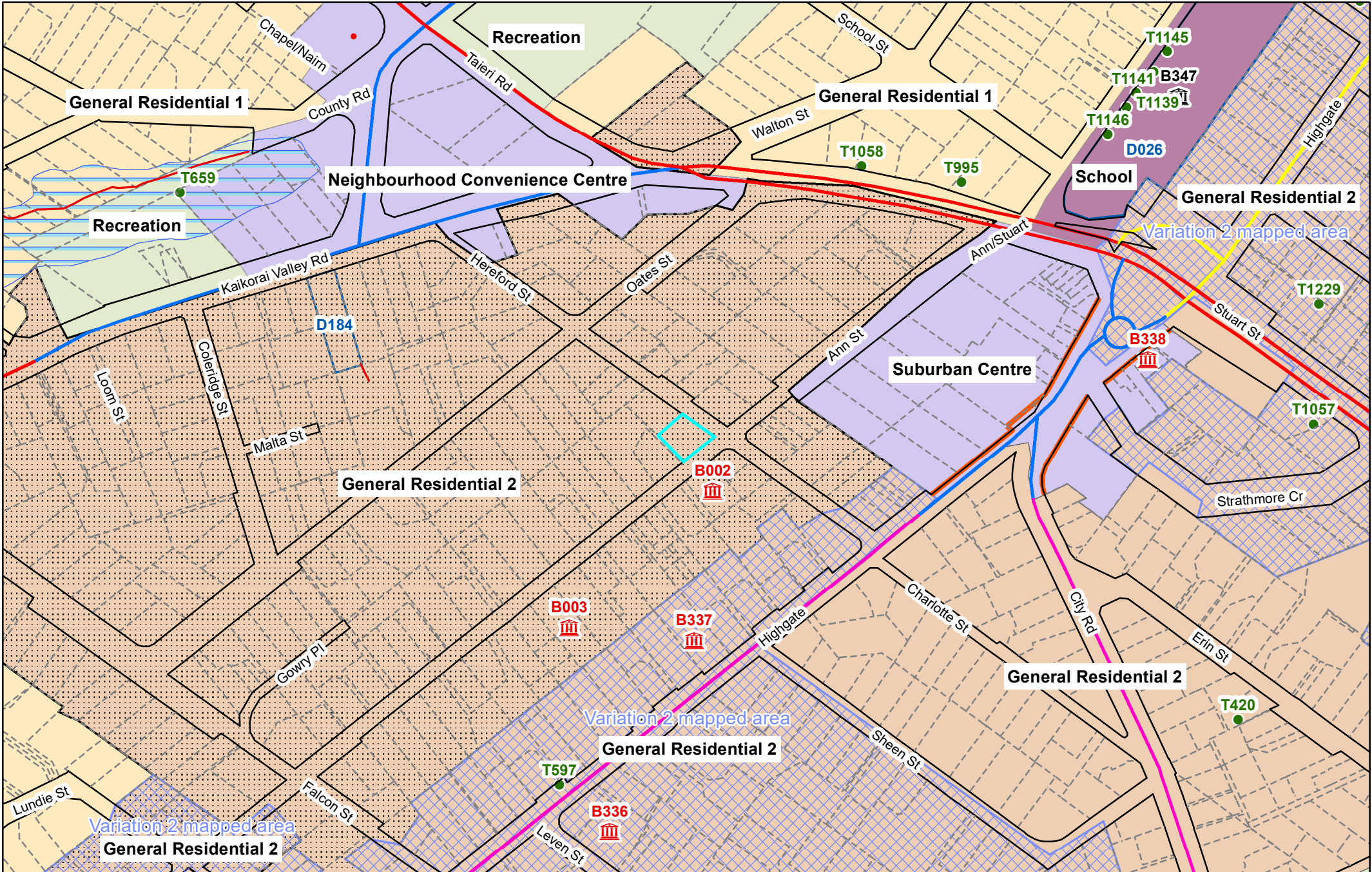
Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2019-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
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2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright T erralink International Ltd.





Legend

- Significant Trees
 - Transpower Structure
 - Transpower Lines
 - Heritage Structure
 - Heritage Facade
 - DP Archaeological Sites
 - Airport Fan Designation 274 bdy
 - Port Height Restrictions
 - DP Designations
 - Urban Landscape Conservation Area
 - DP Taiari Aerodrome
 - Restricted Water Supply Area
 - Ground Water Protection Zone A
 - Ground Water Protection Zone B
 - Public Roads not Legal
 - Unformed Legal Road
- Zones**
- R1 - Residential 1 Zone
 - R2 - Residential 2 Zone
 - R3 - Residential 3 Zone
 - R4 - Residential 4 Zone
 - R5 - Residential 5 Zone
 - R6 - Residential 6 Zone
 - R6A
 - Campus Zone
 - Airport Zone
 - Stadium Zone
 - CA - Central Activity Zone
 - LSR - Large Scale Retail Zone
 - LA1 - Local Activity Zone 1
 - LA2 - Local Activity Zone 2
 - In1 - Industrial 1 Zone
 - In2 or SD - Industrial 2 or Special Development Zone
 - Port 1 Zone
 - Port 2 Zone
 - RR - Rural Residential Zone
 - Rural Zone
 - H - Harbourside

Port & Airport Noise

- Air Noise Boundary
- Airport Outer Control Boundary
- Outer Port Control Boundary
- Port Noise Boundary

Esplanade Requirement

- Esplanade Reserve Required
- Esplanade Strip Required

Landscape Management Boundary

- outside boundary
- boundary between areas
- prominency boundary

Townscape

- Townscape and Heritage Precinct Boundary - Internal
- Townscape and Heritage Precinct Boundary

Pedestrian Frontage

- Identified Pedestrian Crossing
- Verandah Required

Areas of Significant Conservation Value boundary

- ASCV Boundary
- ASCV Boundary - Internal
- Areas of Significant Conservation Value (Estuarine edge)
- Areas of Significant Conservation Value (Wetland)

Most detail not shown at scales smaller than 1:25,000
Optimal scale range is 1:2000 - 1:5000

This Planning Map is indicative.

The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.



Operative District Plan Map

Scale at A4:
1:3,000
19/05/2025
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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

DUNEDIN DRAINAGE AND SEWERAGE BOARD

HOUSE CONNECTION PLAN.

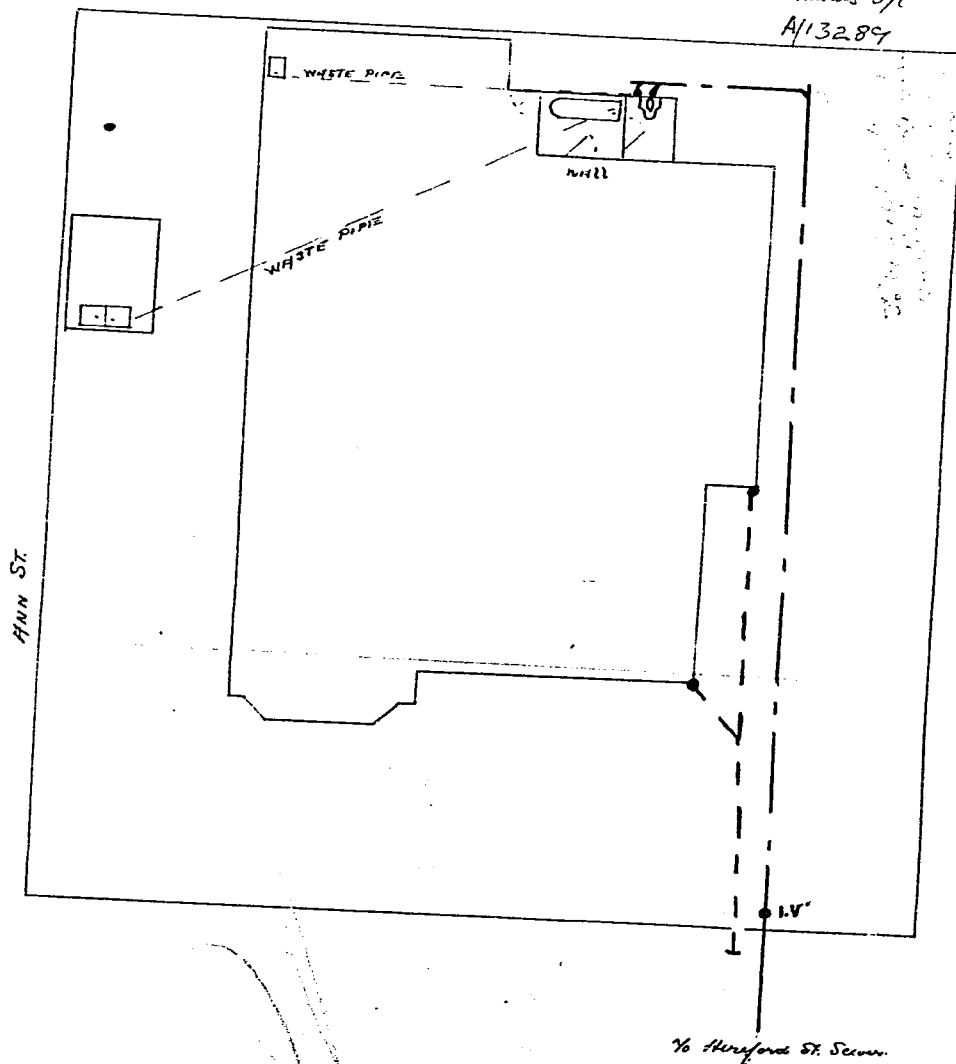
APPLICATION No. *9/2016*

DATE

SCALE: $\frac{1}{4}$ in. to a Foot.

NEW SEWAGE DRAINS: RED
STORM WATER: DOTTED BLACK
OLD DRAINS: FULL BLACK

Plans of
A/13289



LEGEND

- Existing Drains
- New Foul Drains
- - - New Stormwater Drains

Owner *Mrs. Davies*
Street *1/2 of Hereford & Ann Sts.*
Locality *Probyn*

Block *Pennington*
Section
Allotment *Part Allotment 1*

Signature of Drainer *S. E. Wright*

DUNEDIN DRAINAGE AND SEWERAGE BOARD

HOUSE CONNECTION PLAN.

APPLICATION NO. **D**

DATE

SCALE $\frac{1}{8}$ in. to a foot

NEW SEWERAGE DRAINS: RED

STORMWATER: DOTTED BLACK

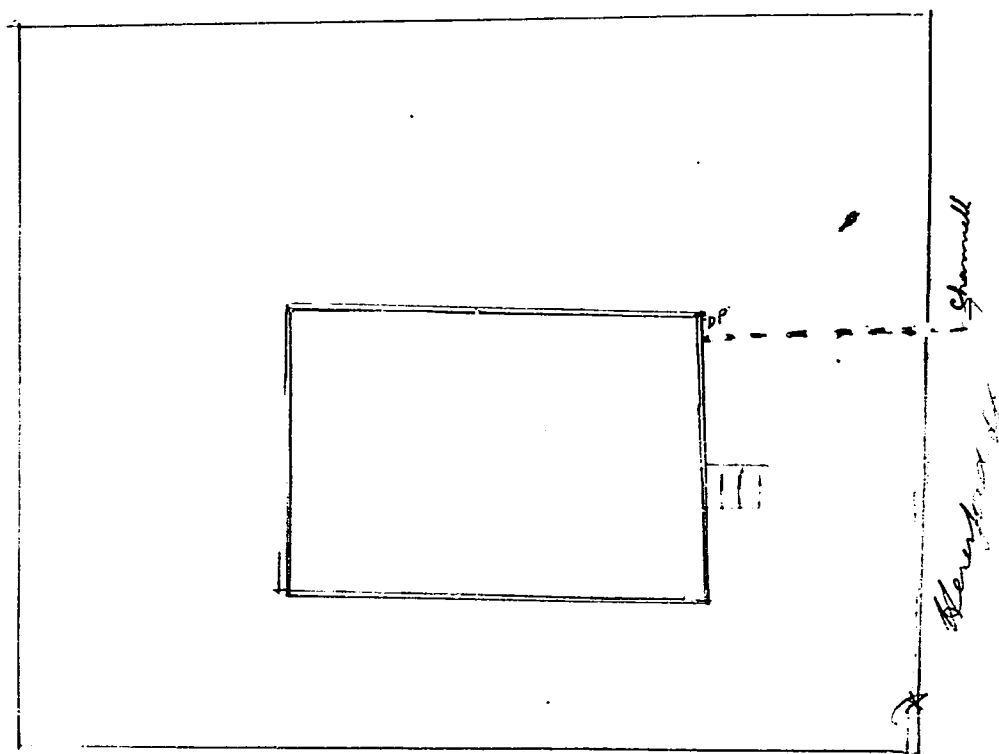
OLD DRAINS: FULL BLACK

LEGEND

— Existing Drains

- - - New Foul Drains

- . - New Stormwater Drains



Ann Street

Owner

M. Brown

Street

Pi Heresford Ann St.

Locality

Rolyn

Block

Sunnyside

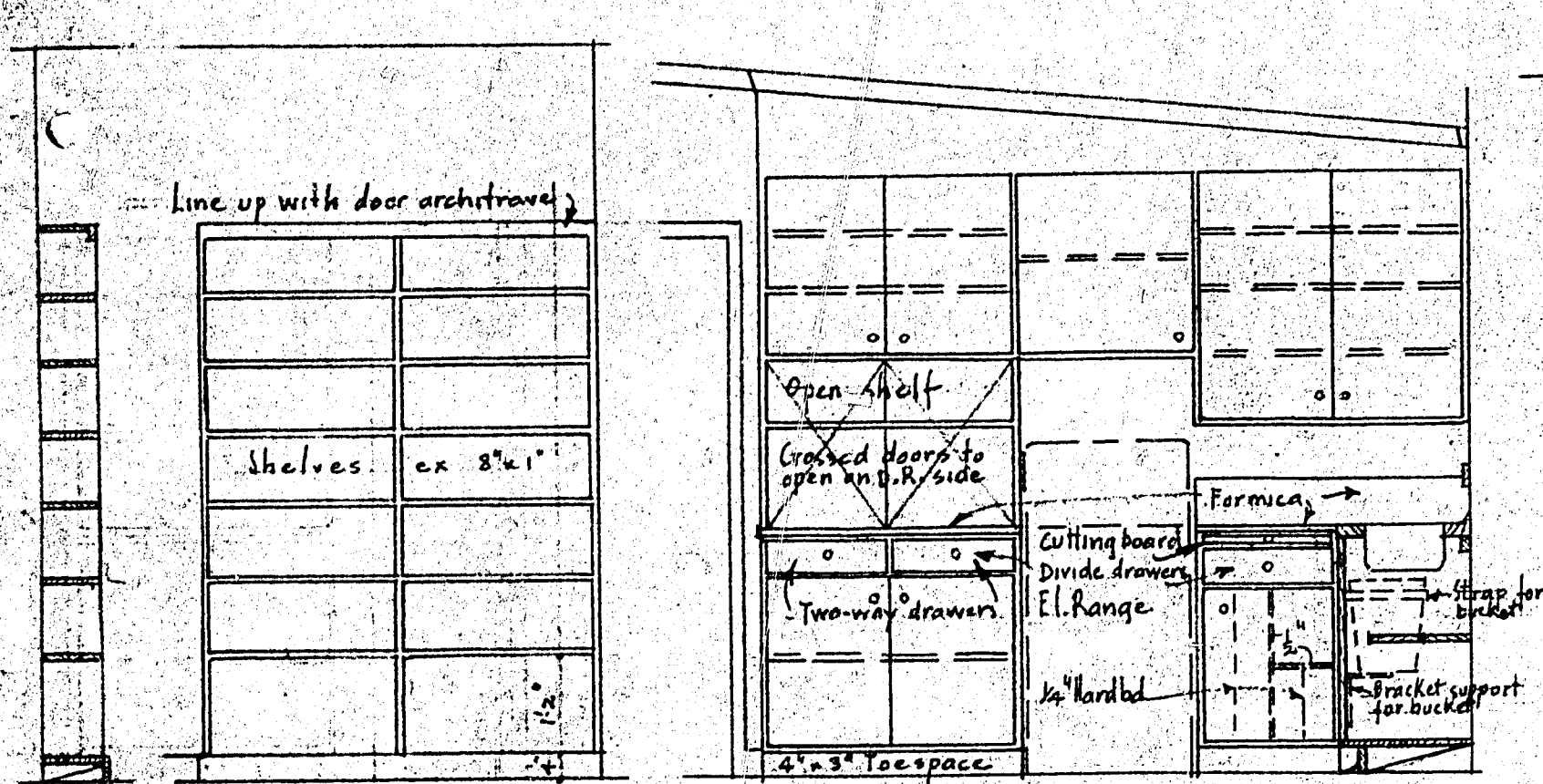
Section

Allotment

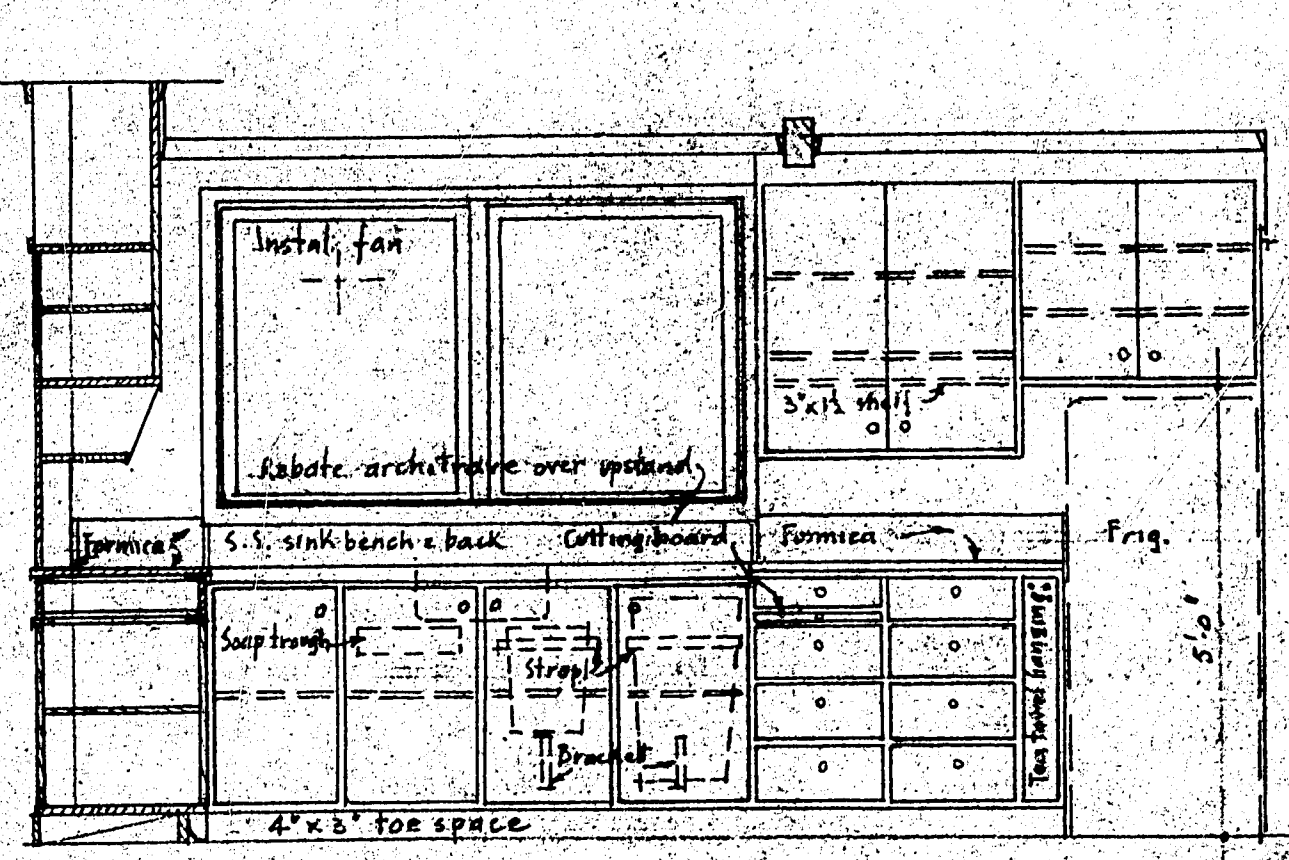
Plot 8

Signature of Drainer

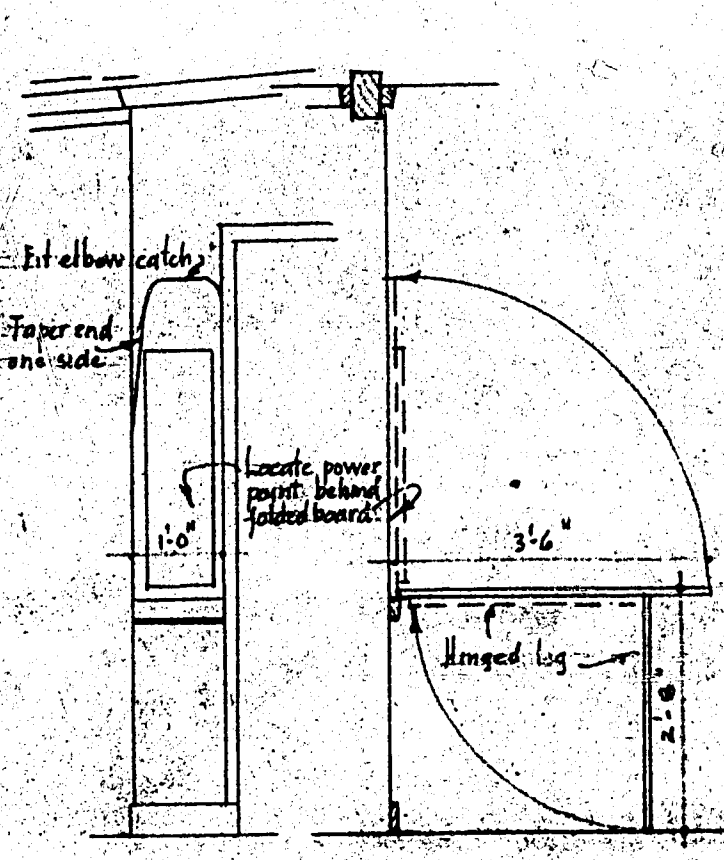
A. Hession



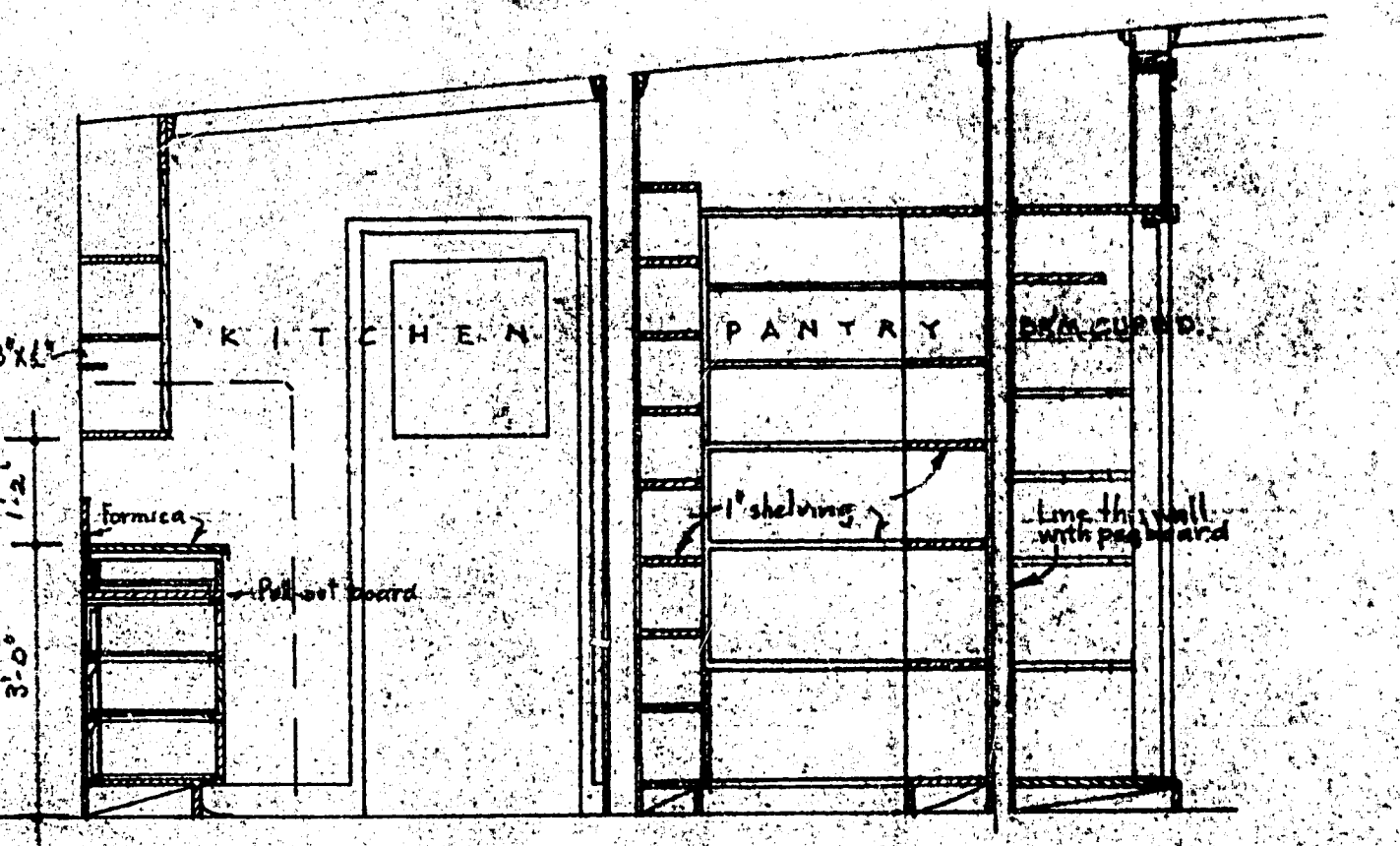
LOUNGE BOOKSHELVES KITCHEN VIEW A



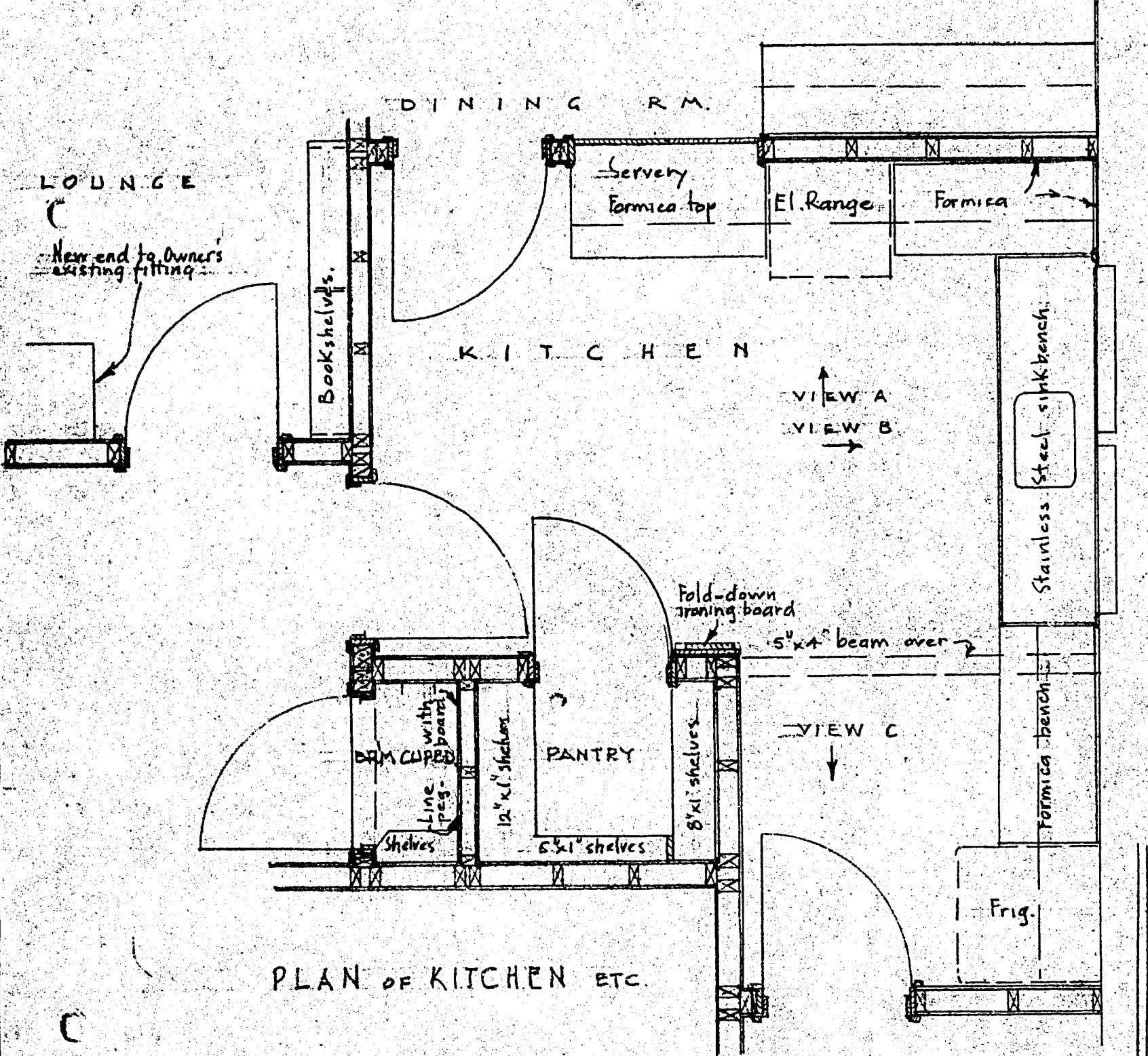
KITCHEN VIEW B



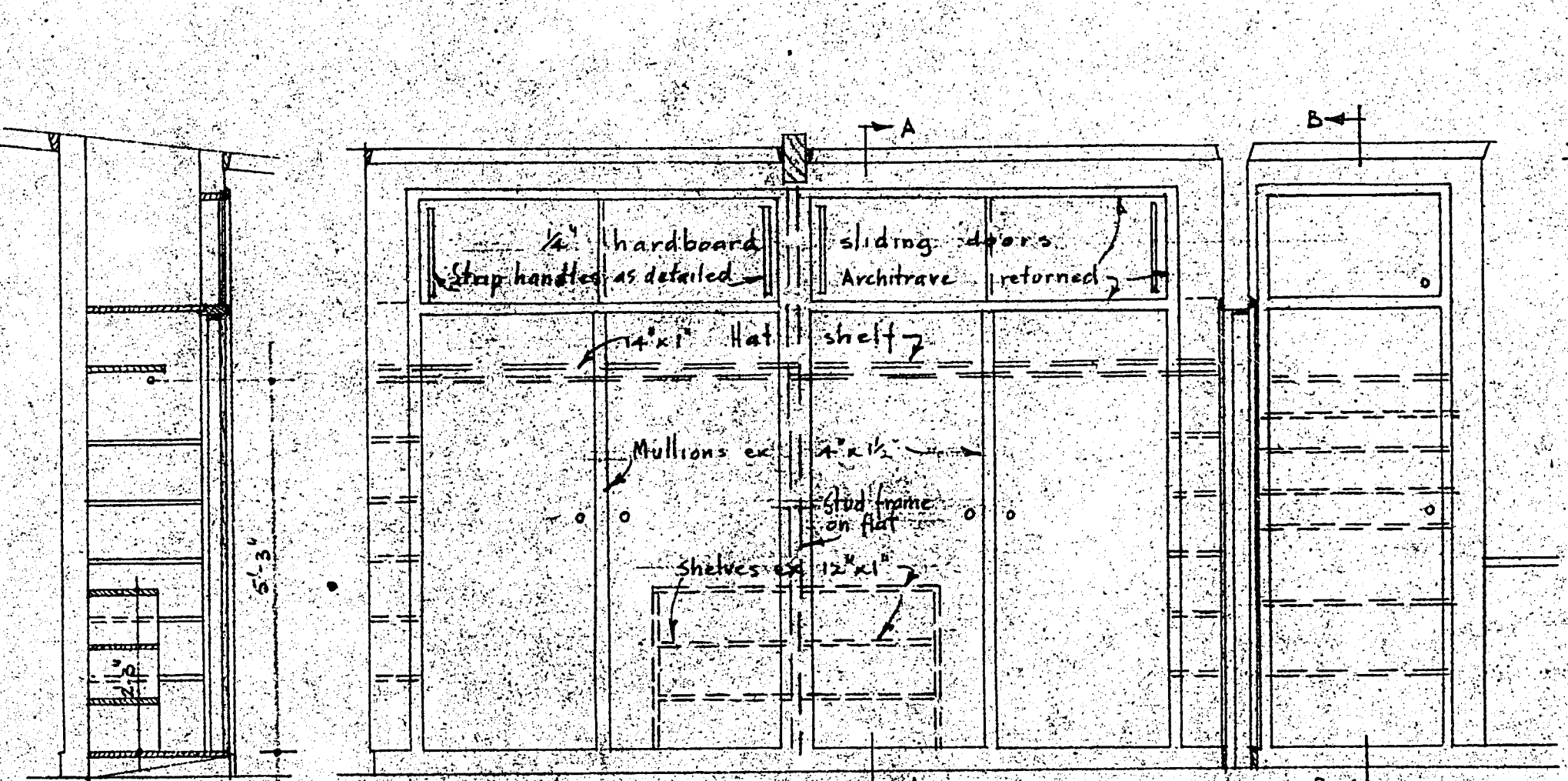
IRONING BOARD



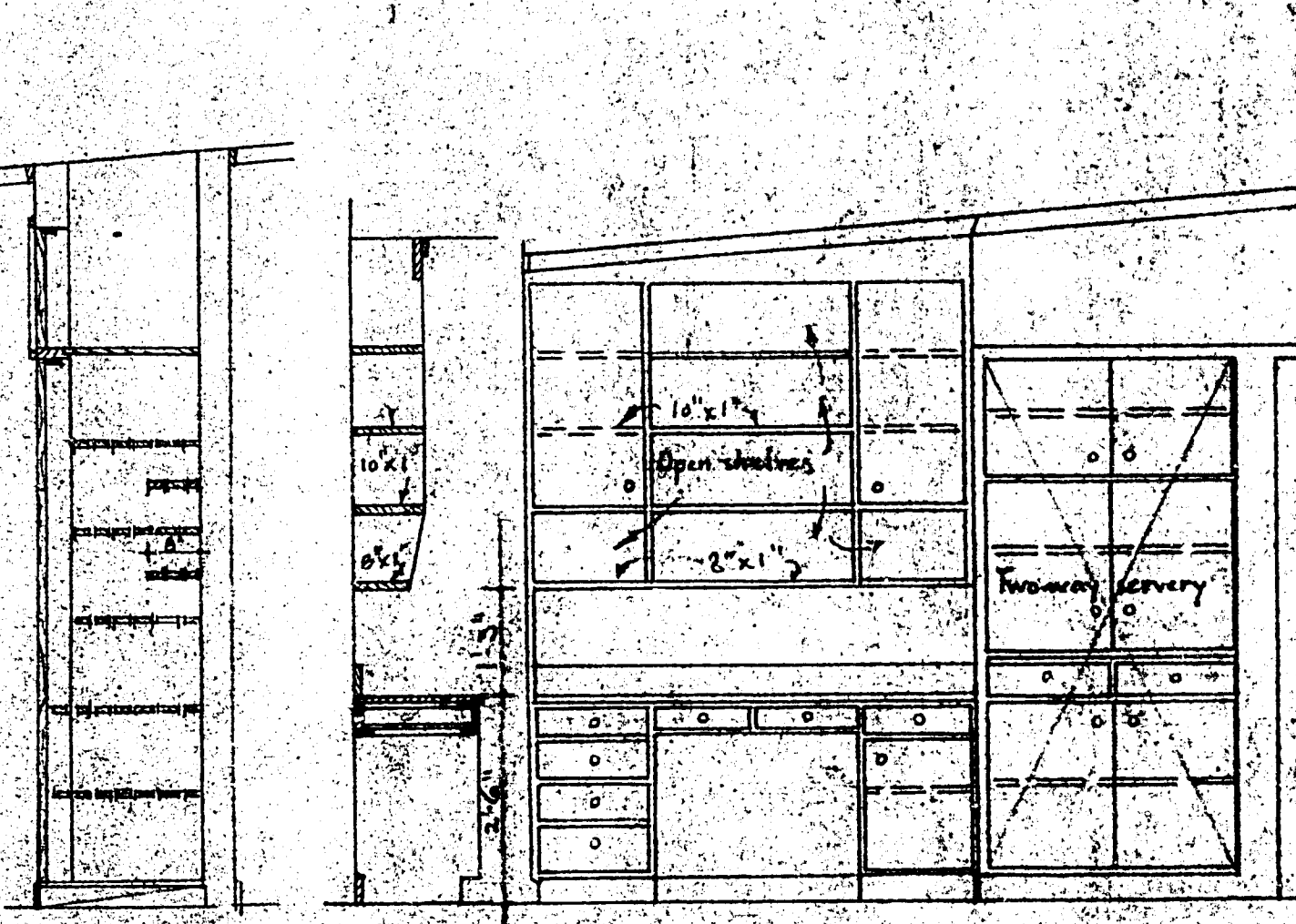
KITCHEN VIEW C



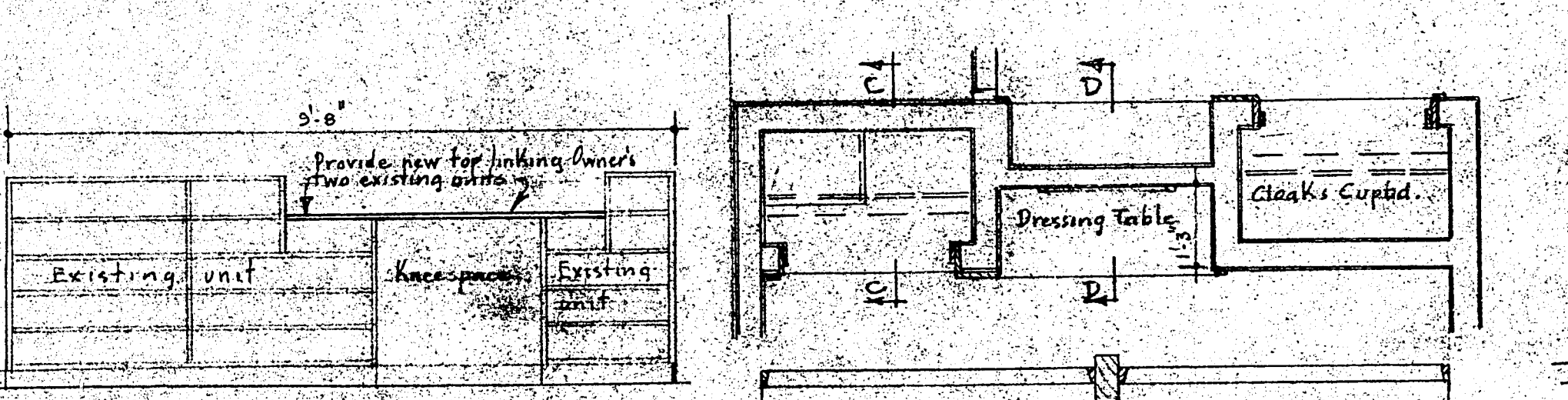
PLAN OF KITCHEN ETC.



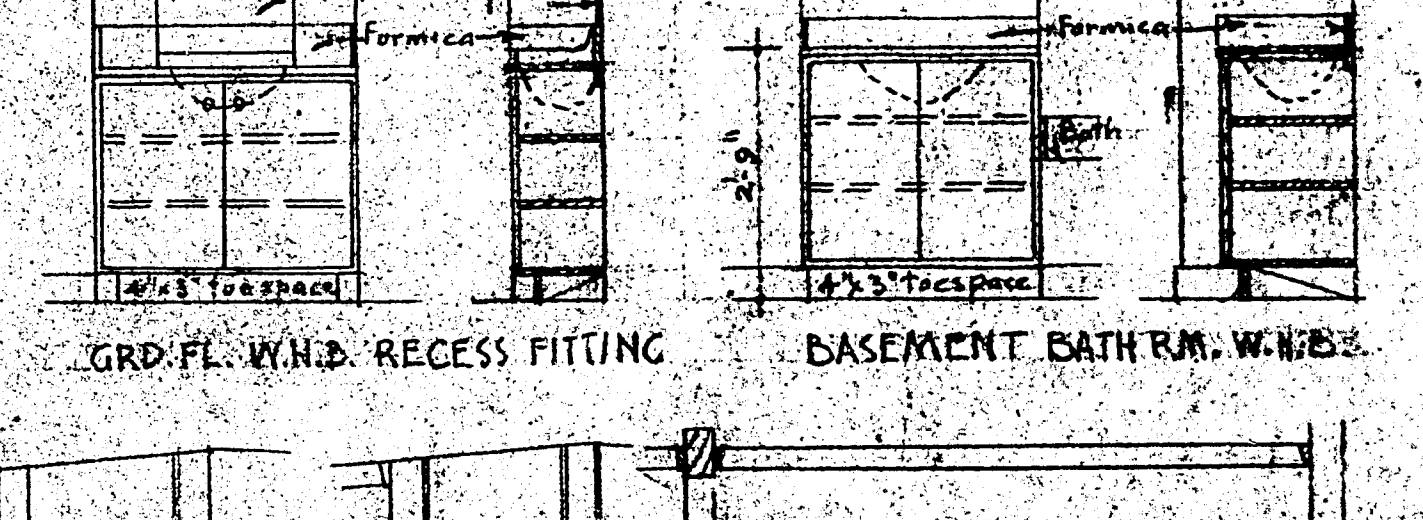
SECTION A-A WARDROBES, BED ROOM 1



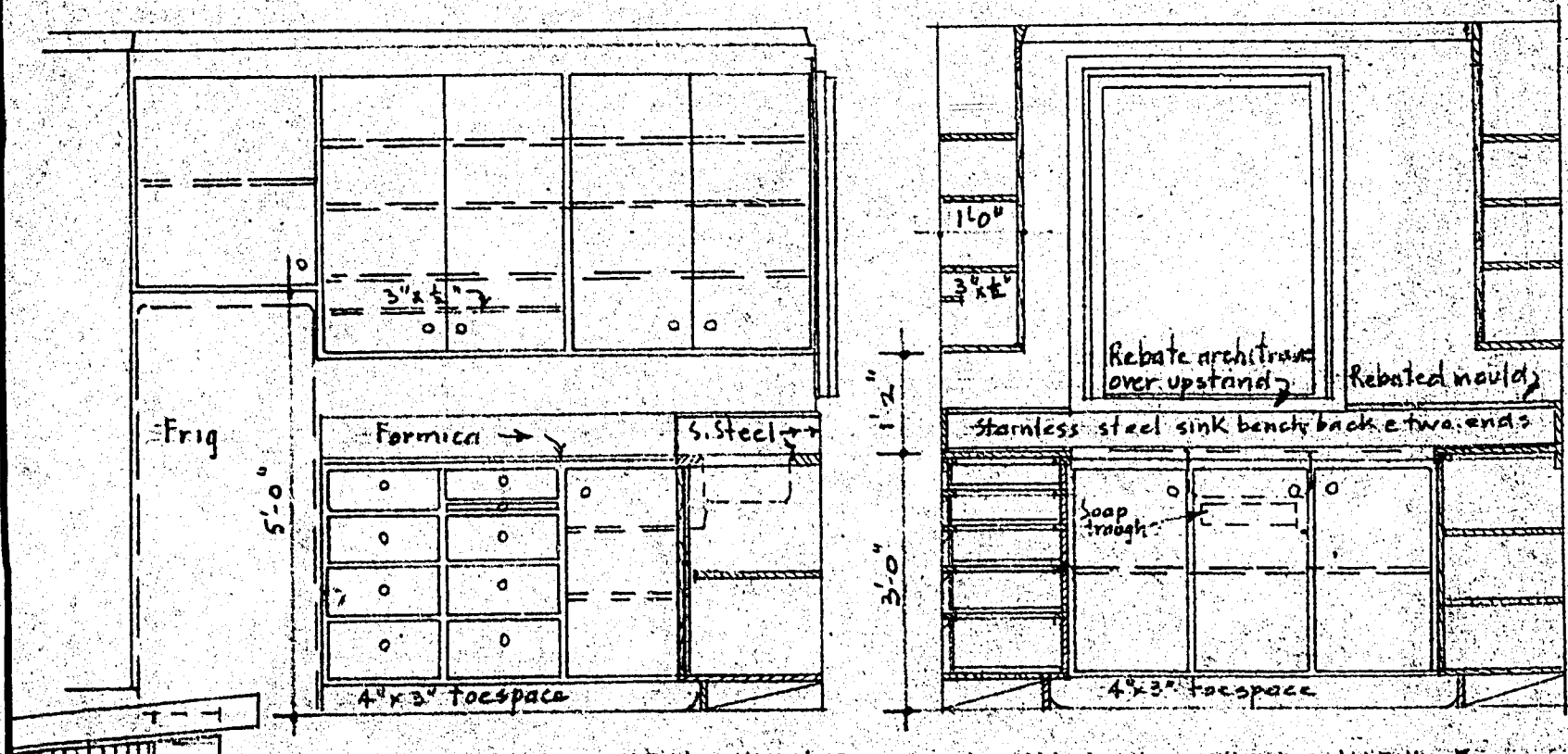
SECTION B-B DINING ROOM FITTINGS & SERVERY



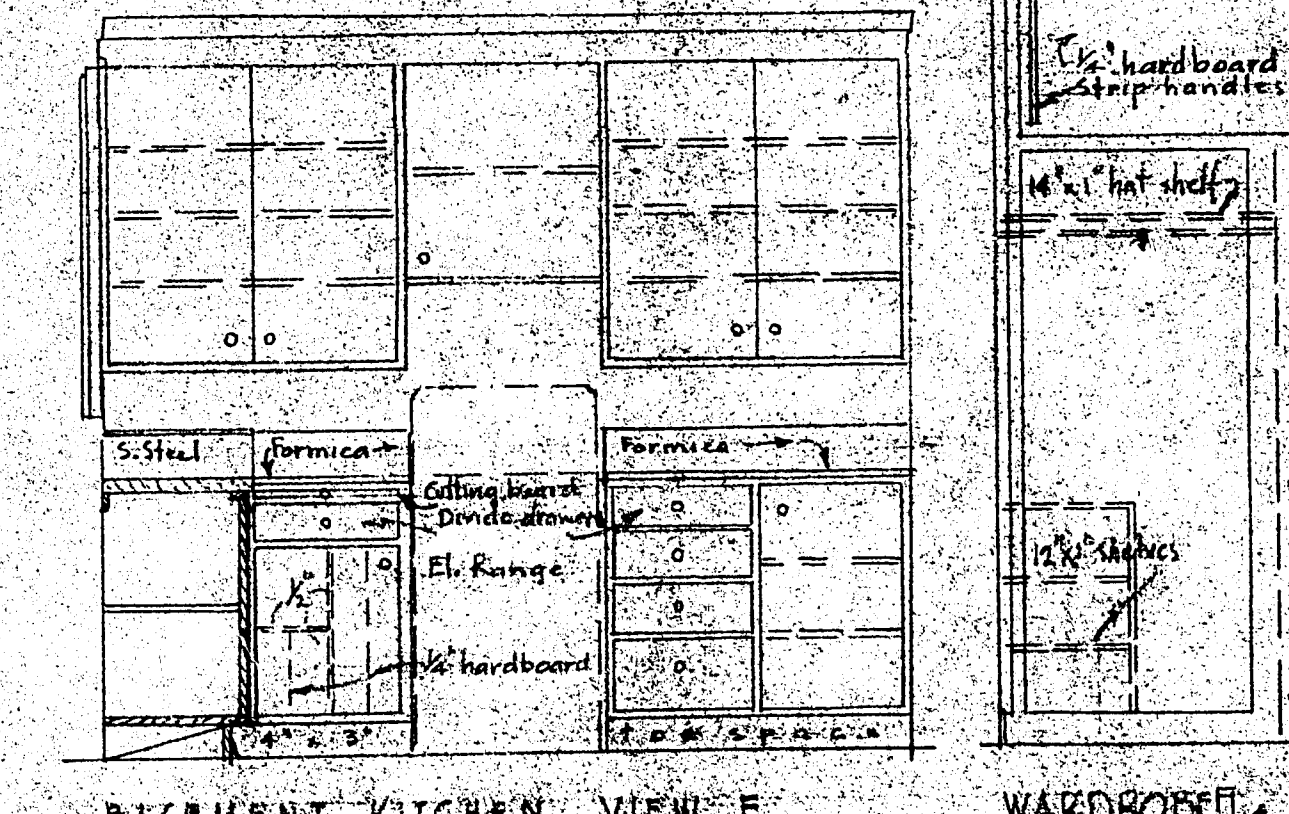
OWNER'S EXISTING UNITS, BED ROOM 1



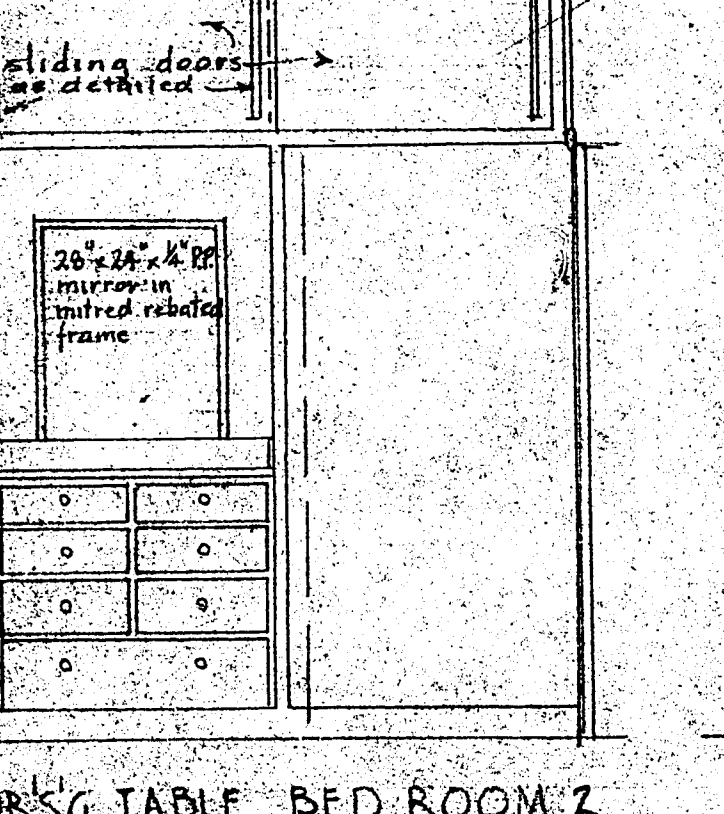
GRD. FL. W.H.D. RECESS FITTING BASEMENT BATH RM. W.H.D.



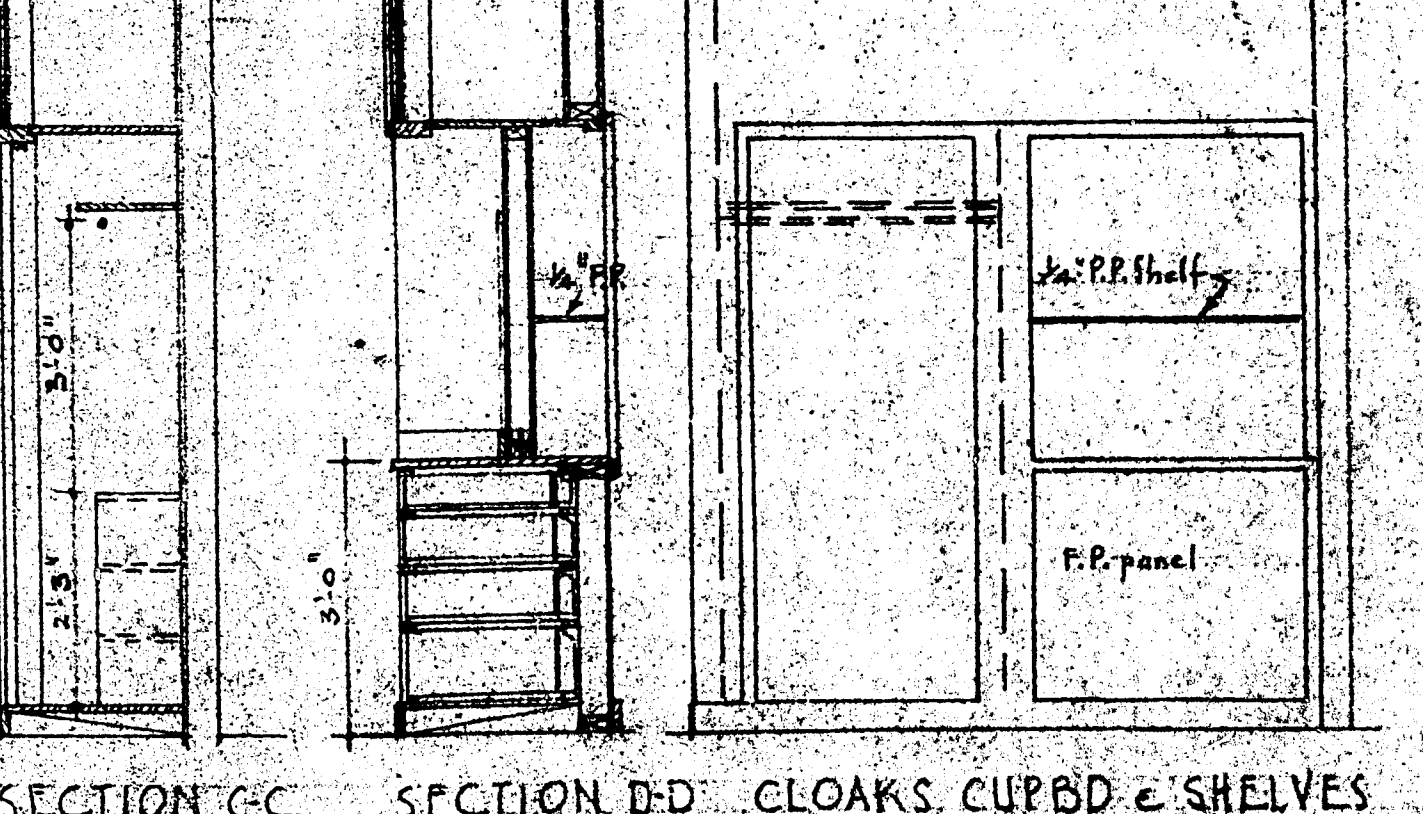
BASEMENT KITCHEN VIEW D



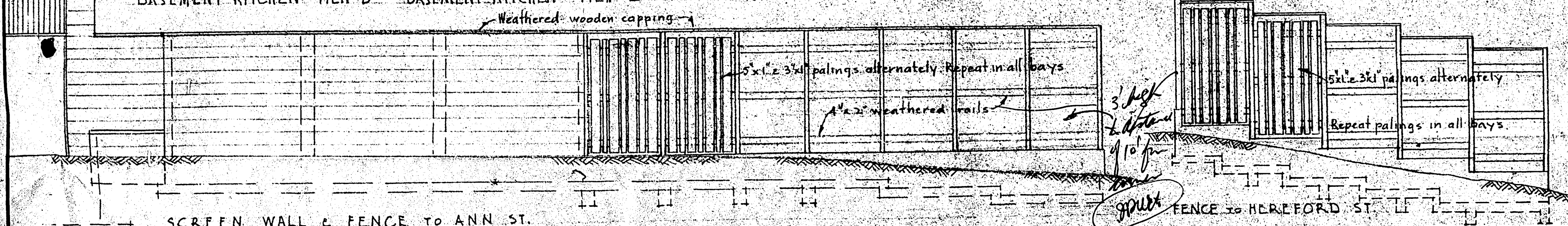
BASEMENT KITCHEN VIEW E



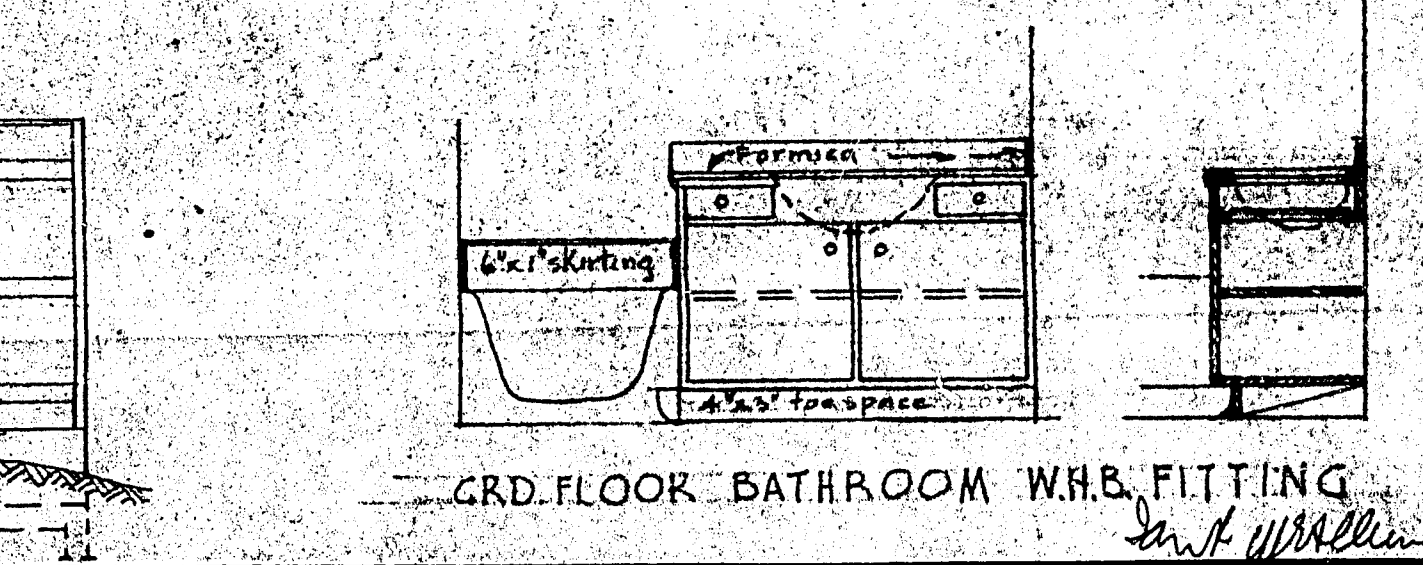
BASEMENT KITCHEN VIEW F



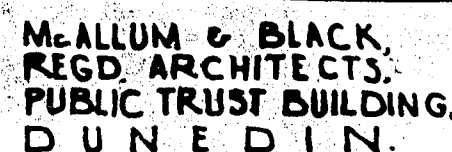
WARDROBE & DRSG. TABLE BED ROOM 2



SCREEN WALL & FENCE TO ANN ST.



GRD. FLOOR BATHROOM W.H.D. FITTING



SHEET No.	SET No.	JOB No.	SCALES: 1/2" = 1'-0" & 3/4" = 1'-0"
2	10	6337	DATE: JUNE 1964

ELEVATION TO ANN ST. (SCREEN WALL NOT SHOWN)

g 8849

ELEVATION TO HEREFORD ST.

C.T. 266/229 LTD.
PT. LOT 6 PT. SEC 3
BLOCK 4
UPPER KAIKORAI

PLAN OF COURTYARD (1/4" = 1 FT.)

LEGEND

Existing Drains

New Foul Drains

New Stormwater Drains

SECTION C-C

LEGEND

Existing Drains

New Foul Drains

New Stormwater Drains

GROUND FLOOR PLAN

BASEMENT PLAN

CALLUM & BLACK,
EGD ARCHITECTS,
PUBLIC TRUST BUILDING,
DUNEDIN

RESIDENCE CORNER ANN AND HEREFORD STREETS FOR MR. & MRS. R. S. A. SINCLAIR

SHEET No.
1

SET No.

JOB No.
6337

SCALE: 1/8" & 1/4" = 1'-0"
DATE: JUNE 1964

Paul W. Allen

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

50 THE OCTAGON. BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	474-3525	CCC No:	ABA 955416	Reference No:	5019446
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

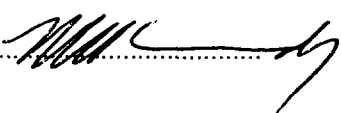
PROJECT	PROJECT LOCATION
All <input checked="" type="checkbox"/> Stage Noof an intendedstages New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: ALTER GARAGE-BEDROOM/STUDY Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/>	Name: CAMERON, ROBERT JAMES Street Address: 34 ANN STREET, DUNEDIN 9001 Mailing Address: 34 ANN STREET, DUNEDIN 9001 LEGAL DESCRIPTION Property Number: 2019446 Valuation Roll No: 26970 50700 Legal Description: PART LOT 8 DEEDS PLAN 9

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name:.....

Position: AUTHORISED OFFICER

Date: 20/02/1997

BUILDING CONSENT

Section 35, Building Act 1991

ISSUED BY:



50 THE OCTAGON BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

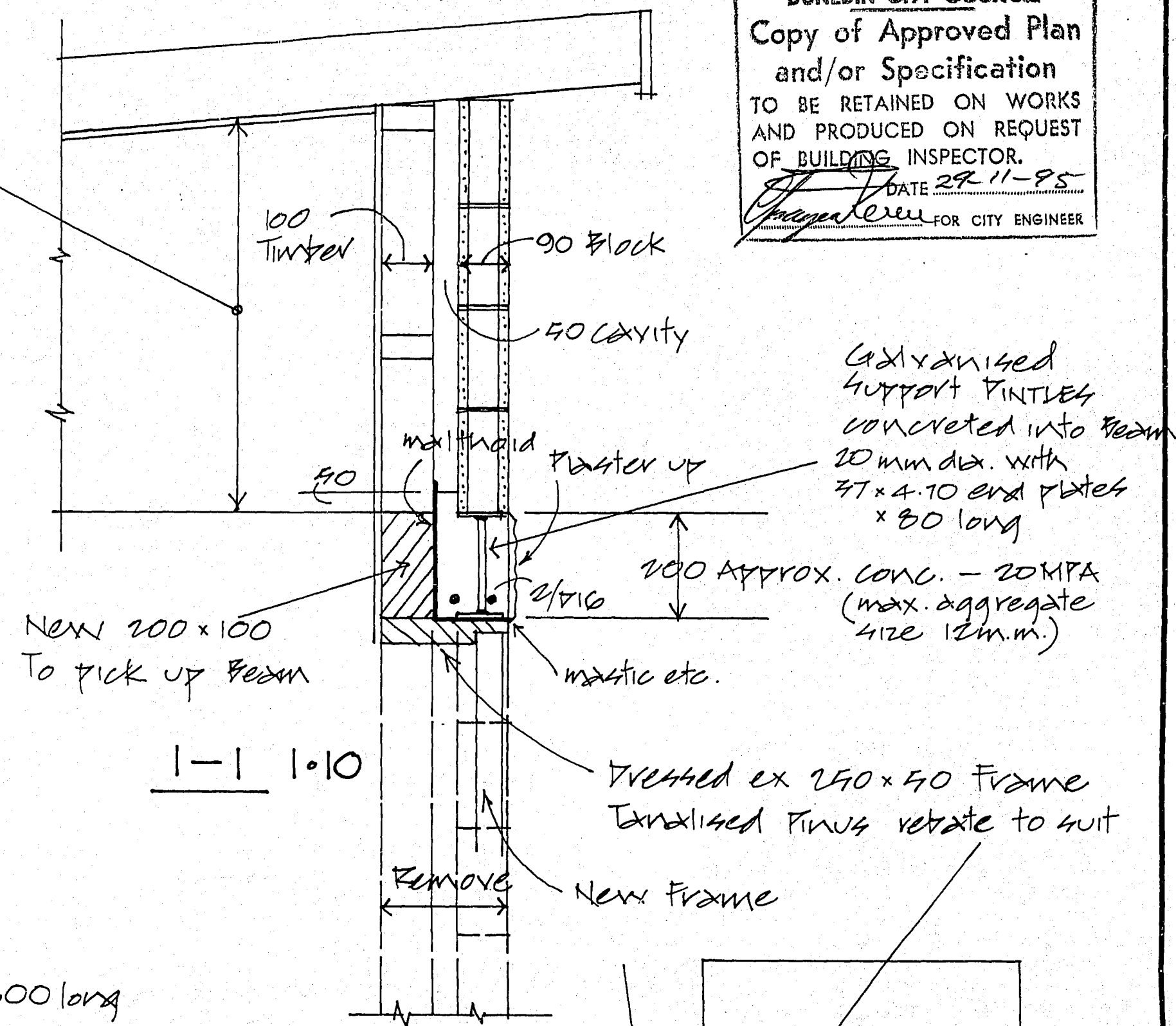
Telephone No:	474-3525	Consent No:	ABA 955416	Reference No:	5019446
---------------	----------	-------------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT		PROJECT	
Name: CAMERON, ROBERT JAMES		All <input checked="" type="checkbox"/>	
Mailing Address: 34 ANN STREET, DUNEDIN		Stage No of an intendedstages	
PROJECT LOCATION		New Building <input type="checkbox"/>	
Street Address: 34 ANN STREET, DUNEDIN		Alteration <input checked="" type="checkbox"/>	
LEGAL DESCRIPTION		Intended Use(s) in detail: ALTER GARAGE-BEDROOM/STUDY	
Property Number: 5019446		Intended Life:	
Valuation Roll No: 26970 50700		Indefinite, not less than 50 years <input checked="" type="checkbox"/>	
Legal Description: PT LOT 8 DDP 9		Specified as 0 years <input type="checkbox"/>	
COUNCIL CHARGES		Demolition <input type="checkbox"/>	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:		Estimated Value: \$3500	
Total: \$		Signed for and on behalf of the Council:	
ALL FEES ARE GST INCLUSIVE		Name: <i>Robert Cameron</i>	
		Position: AUTHORISED OFFICER	
		Date: 08/12/1995	

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

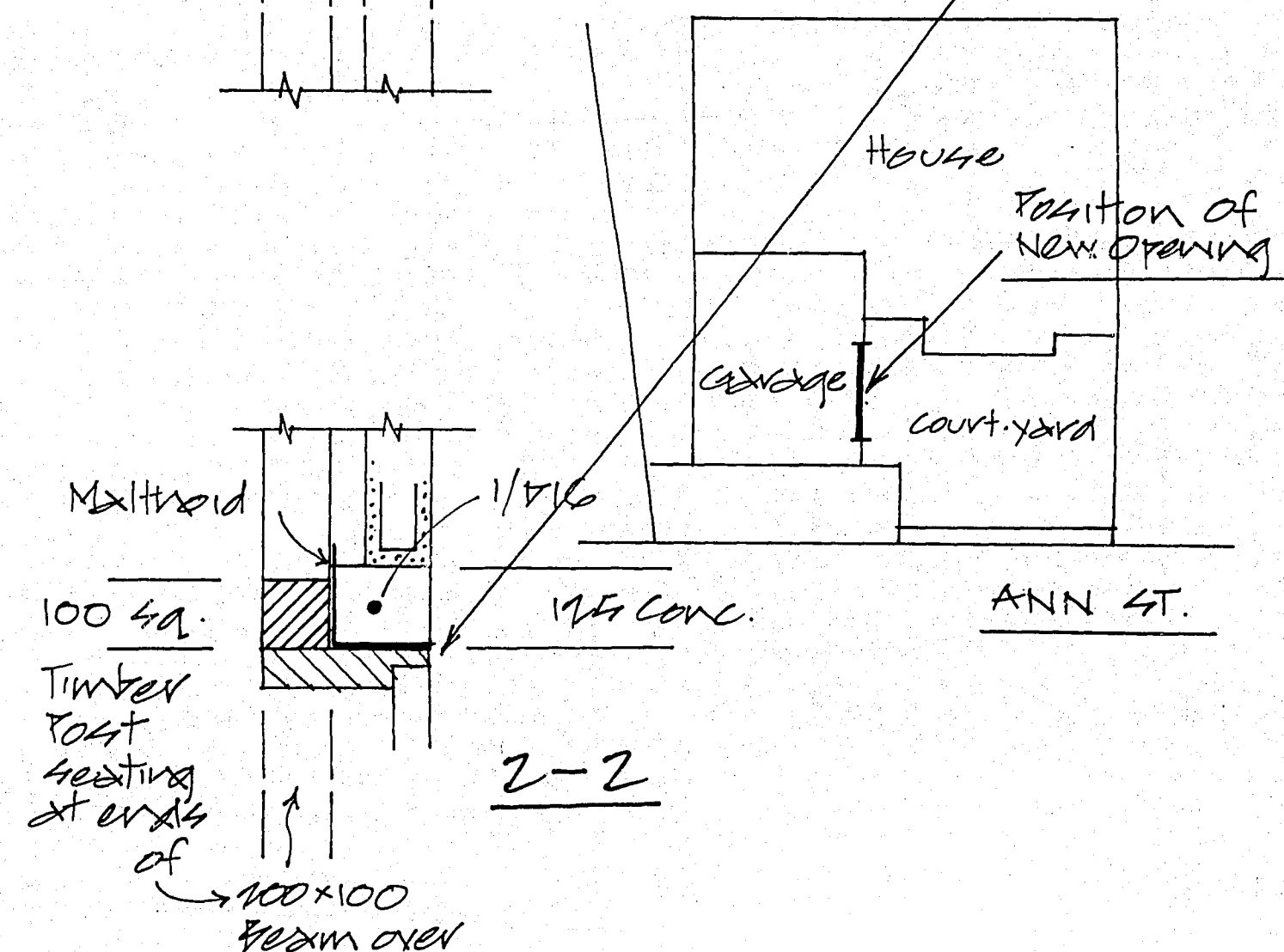
This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."



Galvanized
Support PINTIES
concreted into beam
20 mm dia. with
37 x 4.70 end plates
x 80 long

CONC. - 20 MPa
(max. aggregate
size 12mm.)

- 1 Cut Jamb slots thru Block Veneer on sides
- 2 Cut Beam slots and install Pintles (measure up exactly approx. 200)
- 3 Remove remaining Block along + in between Pintles, install bars.
- 4 Pour conc. jamps + lintel. (20 MPA strength with 12 m.m. max. aggregate)
- 5 After 7 days min^m remove remainder of Block veneer and strip boxing
- 6 Install 200x100 Timber Beam (Garage Roof Beam previously propped)
- 7 Exterior walls and roof to be fully insulated.
- 8 Floor to have moisture barrier or be insulated



PROPOSED WINDOW IN GARAGE AT 34 ANN ST., DN.
FOR MR. + MRS R. CAMERON

95/5416

DRAWN *A.V.*
TRACED

CHECKED	1
DATE	NOV. 95

SCALES

SHEET

SERIES OF

EF